



# Cortland County

Business Development Corporation

**Board of Directors Meeting  
November 14, 2022 – Noon  
40-42 Main Street, Suite A, 2<sup>nd</sup> Floor Cortland New York, 13405**

## Roll Call

Michael McMahon	<u>Chairman</u>	
Clint Brooks	<u>Board Member</u>	
Dan Mones	<u>Board Member</u>	
Donald Richards	<u>Board Member</u>	
Jason Hage	<u>Board Member</u>	
Jerry Contento Jr.	<u>Board Member</u>	
Johanna Ames	<u>Board Member</u>	
John O. Reagan	<u>Board Member</u>	
Dr. Kathleen Burke	<u>Board Member</u>	
Lori Law	<u>Board Member</u>	
Paul Dries	<u>Board Member</u>	
Stephen Compagni	<u>Board Member</u>	
Robert Edwards	<u>Board Member</u>	
Garry VanGorder	Executive Director	
John Sidd	Counsel-Hancock Estabrook LLP	
Karen Niday	Chief Financial Officer	
Eric Mulvihill	Economic Development Specialist	



# Cortland County

Business Development Corporation

## **AGENDA**

**Approval of Minutes** – October 17, 2022

**New Business** – Consideration of financial assistance for Cortland Housing Assistance Council

## **Monthly Reports**

- Finance Report
- Revolving Loan Fund
- Director's Report/Project Updates

**Adjourn**

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**Cortland County**  
Business Development Corporation

# Minutes



# Cortland County

Business Development Corporation

**Minutes of the Board of Directors Meeting of  
October 17, 2022  
40-42 Main Street, Suite A, 2<sup>nd</sup> Floor Cortland New York, 13405**

**Call to Order: Chairman McMahon called the meeting to order at 12:03 P.M.**

Roll Call

Michael McMahon	<u>Chairman</u>	<u>Present</u>
Clint Brooks	<u>Board Member</u>	<u>Present</u>
Dan Mones	<u>Board Member</u>	<u>Absent</u>
Donald Richards	<u>Board Member</u>	<u>Present</u>
Jason Hage	<u>Board Member</u>	<u>Present</u>
Jerry Contento Jr.	<u>Board Member</u>	<u>Present</u>
Johanna Ames	<u>Board Member</u>	<u>Excused</u>
John O. Reagan	<u>Board Member</u>	<u>Excused</u>
Dr. Kathleen Burke	<u>Board Member</u>	<u>Present</u>
Lori Law	<u>Board Member</u>	<u>Absent</u>
Paul Dries	<u>Board Member</u>	<u>Excused</u>
Stephen Compagni	<u>Board Member</u>	<u>Excused</u>
Robert Edwards	<u>Board Member</u>	<u>Present</u>
Garry VanGorder	Executive Director	<u>Present</u>
John Sidd	Counsel-Hancock Estabrook LLP	<u>Present</u>
Karen Niday	Chief Financial Officer	<u>Present</u>
Eric Mulvihill	Economic Development Specialist	<u>Present</u>



# Cortland County

Business Development Corporation

## AGENDA

**Approval of Minutes** – September 12, 2022 – Mr. McMahon made a motion to accept the minutes as presented; Mr. Hage seconded the motion. All voting in favor, none opposed.

## **New Business** –

### **Monthly Reports**

- Finance Report – Ms. Niday reviewed the monthly financial reports and discussed the progress of the disbursement County funded ARPA small business grant programs.
  - Revolving Loan Fund – Ms. Niday reviewed the status of the revolving loan fund; she indicated all payments are current. Ms. Niday indicated that she anticipates an application for a loan to be forthcoming. Ms. Niday reviewed the terms of the Voyant loan, she has contacted company representatives and discussed the annual adjustment on the existing loan's interest rate and has forwarded the terms of the note reminding the company that the loan is payable in full upon cessation of the company's operations in Cortland. Mr. Sidd said that the BDC does not have to wait until the company ceases operations in order to foreclose on the loan, the fact that the company has announced closure is sufficient to begin that process. Mr. Brooks agreed with Mr. Sidd and suggested that the BDC should act on the debt sooner rather than later. Mr. Hage suggested a letter from the BDC's legal counsel to the company would be appropriate.
  - Director's Report/Project Updates – Mr. VanGorder updated the Board on the status of the Cortland DRI projects. He indicated that construction on the public works projects has been slow to commence due to various issues. He said that the City continues to evaluate progress on some of the private projects to make sure they are progressing as planned. Some projects may need to be reevaluated. Mr. VanGorder said the reconstruction of Clinton Ave. in the City is expected to be substantially completed this year.
-



# Cortland County

Business Development Corporation

Mr. VanGorder said the REDC scoring committee will be meeting later this week to review the DRI applications as well as applications to the NY Forward program. Locally the Villages of Homer, Marathon, and McGraw have all submitted applications for the NY Forward program. Homer is competing for the DRI award as well.

Mr. VanGorder said based on the BDC's previously commissioned parking study the City of Cortland is beginning to implement revisions to its parking programs with a plan to implement paid parking in the near future.

Mr. VanGorder said the BDC staff continues to fill the void let by the demise of the Cortland Downtown Partnership. He said there continues to be a need for long term planning for downtown Cortland's future including the management of trash collection, street maintenance, and coordinating downtown events and activities. Mr. VanGorder said BDC staff was not necessarily intended to fill this gap and perhaps more discussions on this issue are needed moving forward.

Mr. VanGorder provided a brief update on the recent announcement by chip manufacturer Micron to locate a new plant in Onondaga County. He said by all accounts Cortland County stands to benefit from this development, but more work needs to be done locally to prepare for the collateral benefits that may come to this community. Mr. VanGorder said he is meeting with his colleagues in Onondaga County to discuss how best to prepare Cortland County and how to align local investments to support future developments that will support Micron.

**Adjourn** – The meeting was adjourned at 12:24 P.M.

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# New Business

# **CHAC PROPOSES AFFORDABLE SENIOR HOUSING PROJECT**

The Cortland Housing Assistance Council is considering development of 53 one-bedroom units of affordable housing on River Street in the city of Cortland.

Here are some details about the agency and the project:

## **What is the Cortland Housing Assistance Council?**

The Cortland Housing Assistance Council, Inc. is a private, not-for-profit agency that has been monitoring and addressing the housing needs of Cortland County since 1973. The CHAC currently owns and manages 43 units of affordable housing in the City of Cortland.

## **Where will the project be located?**

The facility will be built on a vacant lot on River Street in the city of Cortland.

## **What are some of the features of the apartments?**

The proposed site will be equipped with off street parking, an on-site laundry facility, community room with kitchen, a wellness room and bike room.

## **Who will live in these apartments when the project is complete?**

The target population will be income eligible individuals 62 years of age and older. A preliminary market study showed that the Cortland community has an overwhelming need for affordable housing for seniors.

## **How do people qualify to live in an apartment?**

Prospective tenants must have incomes at or below 60 percent of the area's median income (one-person household at or below \$32,760; two-person household at or below \$37,440). The rents will range from approximately \$525.00 to \$725.00 per month. This is not federal "section 8" housing.

## **How will the property be managed?**

CHAC, Inc. will own and manage the building. There will be an on-site property manager and a full-time maintenance technician that will be available 24-7 for emergencies.



**How will the project be financed?**

CHAC will be applying for funding from the state Department of Housing and Community Renewal under its Low-Income Housing Tax Credit the Senior Housing Program.

**Who is assisting the CHAC with this Project?**

A very experienced and knowledgeable development team has been established:

- The Empire Housing and Development Corporation, which has been addressing the housing needs in Central New York since 1995, will work closely with the agency on the development of this project;
- Ms. Kelly Besaw of KB Development Consulting, LLC, who has many years of experience in developing affordable housing, is the consultant on the project and will be preparing the grant for submission to the state Department of Housing and Community Renewal;
- Holmes, King and Kallquist, Architects is the project's architectural firm. They possess extensive knowledge and experience in designing affordable housing projects in Central New York utilizing State funding;
- Hueber-Breuer Construction Company, Inc., is the general contractor. The company is well-known in Central New York and has built numerous affordable housing complexes under state-funded programs; and
- Keplinger Freeman Associates is the engineering firm for this project and has experience and knowledge with respect to designing affordable housing projects for the state.

Company	Service	Amount	
Keplinger Freeman Assoc.	Site Plans	4,500 paid	
C&S Companies	Phase I	2,950 paid	
Newmark	Pre Market Study	2,600 paid	10,500
Holmes, King, Kallquist	Architect	60,500	
Newmark	Comp Market Study	2,800	
Sustainable Comfort	Green Design	1,500	
NYS DEC	SPDES Permit Review	850	
Kelly Besaw	Consultant	14,000	
TBD	Soil Borings	15,000	94,650

Submit App

Award HCR Cont Const St Const End PDF Paid

12/6/2022

2023 May 2023 Nov 2023Nov 2025 June 2023 Nov

May-23

2023 Nov 2024 May 2024 May 2025 May 2024 May

# RIVER STREET APARTMENTS

RIVER STREET, CORTLAND, NEWYORK

HKK PROJECT #22050



**LANDSCAPE ARCHITECT**  
KEPLINGER FREEMAN ASSOCIATES PLLC

6320 FLY ROAD, SUITE 109  
EAST SYRACUSE, NY 13057  
PHONE: (315) 445-7980  
FAX: (315) 445-7981

WEBSITE: www.keplingerfreeman.com

**ARCHITECT:**  
HOLMES ■ KING ■ KALLQUIST  
& ASSOCIATES, ARCHITECTS, LLP

575 NORTH SALINA STREET  
SYRACUSE, NY 13208  
PHONE: (315) 476-8371  
FAX: (315) 476-5420

WEBSITE: www.hkkarchitects.com

I, THE UNDERSIGNED ARCHITECT, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS ADOPTED BY NEW YORK STATE AND THE INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY NEW YORK STATE.

ISSUE DATE XX/XX/XXXX

BID SET No.

**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

REV No.	DATE	DRAWN BY	DESCRIPTION

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JOB NO: 22050

DATE: 10-13-22

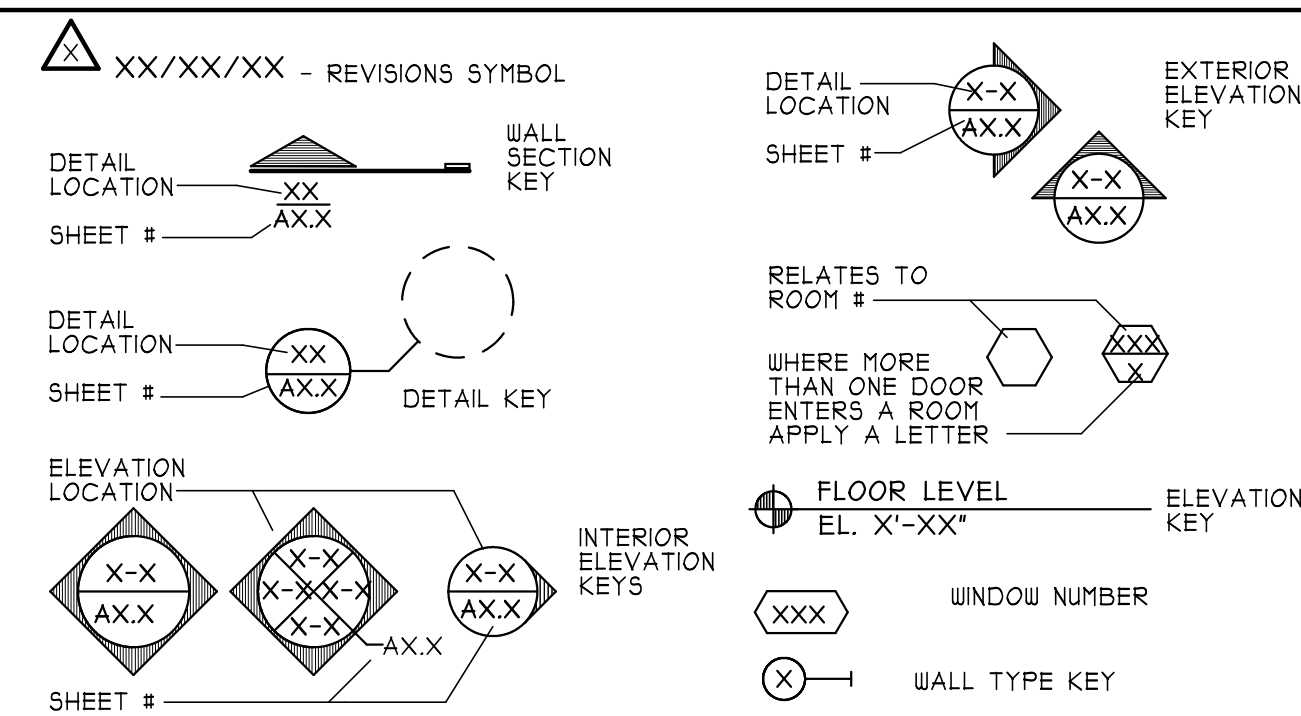
DRAWN BY: cjt

SCALE: NONE

## ABBREVIATIONS :

ACP/APC	ACOUSTIC CEILING PANEL	EQ	EQUAL	LLH	LONG LEG HORIZONTAL	REV	REVISED/REVISION
ACT/ATC	ACOUSTIC CEILING TILE	EST	ESTIMATE	LLV	LONG LEG VERTICAL	RM	ROOM
ADJ	ADJACENT	EQUIP	EQUIPMENT	LOC	LOCATION	RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR	ESC	ELECTRIC WATER COOLER	LTG	LIGHTING	ROU	RIGHT OF WAY
AIA	AMERICAN INSTITUTE OF ARCHITECTS	EXH	EXHAUST	LTL	LINTEL	RUB	RUBBER
ALLOW	ALLOWANCE	EX or EXIST	EXISTING	LVL	LAMINATED VENEER LUMBER	SCHED	SCHEDULE
ALT	ALTERNATE	EXT	EXTERIOR	LVP	LUXURY VINYL PLANK	SEC	SECTION
ALUM	ALUMINUM	FD	FLOOR DRAIN	LVR	LOUVER	SLNT	SEALANT
ANOD	ANODIZED	FDN	FOUNDATION	LVT	LUXURY VINYL TILE	SLR	SEALER
APPROX	APPROXIMATELY	FE	FIRE EXTINGUISHER	MAR	MARBLE	SLT	SLATE
ARCH	ARCHITECT (URAL)	FEC	FIRE EXTINGUISHER CABINET	MAS	MASONRY	SQR	SQUARE FOOT
AVG	AVERAGE	F/F	FACE OF FINISH	MAT	MATERIAL	SFT	SHEET
ABC	ACOUSTICAL WALL COVERING	FGL	FIBERGLASS	MAX	MAXIMUM	SIM	SIMILAR
AWP	ACOUSTICAL WALL PANELING	FN	FINISH	MDF	MEDIUM DENSITY FIBERBOARD	SPEC	SPECIFICATIONS
B/O	BOTTOM OF FOOTING	FIN FLR	FINISHED FLOOR	MDO	MEDIUM DENSITY OVERLAY	SPR	SPRINKLER
BIT	BITUMINOUS	FKT	FIXTURE	MECH	MECHANICAL	SQ	SQUARE
BLDG	BUILDING	FLR	FLOOR	MEZZ	MEZZANINE	SS	STAINLESS STEEL
BLKG	BLOCKING	FI	FACTORY MUTUAL	MFR	MANUFACTURER	SSM	SOLID SURFACE MATERIAL
BM	BENCH/BENCHMARK	F/O	FACE OF	MN	MINIMUM	STC	SOUND TRANSMISSION CLASS
B/O	BOTTOM OF	FP	FIRE PROOFING	MISC	MISCELLANEOUS	STD	STANDARD
BRD	BOARD	FR	FIRE RESISTIVE	MO	MASONRY OPENING	STL	STEEL
BRK	BRICK	FRIG	FRAMING	MTL	METAL	STN	STAIN
B/SHT	BASEMENT	FRR	FIBERGLASS REINFORCED PLASTIC	NA	NOT APPLICABLE	STNCT	STRUCTURAL
B/W	BETWEEN	FT	FOOT/FEET OR FIRE TREATED	NIC	NOT IN CONTRACT	SURF	SURFACE
BUR	BUILT-UP ROOF	FTG	FOOTING	NO, OR #	NUMBER	SUSP	SUSPENDED
CABT	CABINET	FTRTD	FIRE TREATED	NOH	NOMINAL	SY	SQUARE YARD
CEN	CEMENT/CEMENTITIOUS	FUR	FURRING	NTS	NOT TO SCALE	SYM	SYMMETRICAL
CF	CUBIC FOOT/FEET	FURN	FURNITURE	OA	OVERALL	T	TREAD
CJ	CONTROL JOINT	GA	GAUGE	OC	ON CENTER	TEL	TELEPHONE
CL	CENTERLINE	GAL	GALLON	OD	OUTSIDE DIAMETER	TEHP	TEMPORARY
CLG	CEILING	GALV	GALVANIZED	OH	OVERHEAD	TERR	TERRAZZO
CLD	CLOSET	GC	GENERAL CONTRACTOR	OPNG	OPENING	THK	THICK
CLR	CLEAR	GEN	GENERAL	OPP	OPPOSITE	THRESH	THRESHOLD
CMU	CONCRETE MASONRY UNIT	GL	GLASS/GLAZING	OPPH	OPPOSITE HAND	TIG	TONGUE & GROOVE
COL	COLUMN/COLOR	GNT	GRANITE	OSB	ORIENTED STRAND BOARD	T/O	TOP OF
COMP	COMPOSITE	GR	GRADE	OZ	OUNCE	TOIL	TOILET
CONC	CONCRETE	GRND	GROUND	PART	PARTITION	T/S	TOP OF STEEL
CONST	CONSTRUCTION	GT	GLAZED TILE	PBRD	PARTICLE BOARD	TTL	TOTAL
CONT	CONTINUOUS	GWB	GYP/SUM WALLBOARD	PC	COMPUTER	TV	TELEVISION
CONTR	CONTRACTOR	GYP	GYP/SUM	PED	PEDIMENT	TYP	TYPICAL
COORD	COORDINATE	H	HIGH	PERF	PERFORATED	UL	UNDERWRITER'S LABORATORY
CORR	CORRIDOR	H/W	HANDICAPPED ACCESSIBLE	PL	PLATE	UNO	UNLESS NOTED OTHERWISE
CORRUG	CORRUGATED	HDWD	HARDWOOD	PLAN	PLASTIC LAMINATE	UR	URINAL
CPT	CARPET	HDWR	HARDWARE	PLAS	PLASTER	VAR	VARIABLE
CPT. T.	CARPET TILE	HGT	HEIGHT	PLBG	PLUMBING	VARN	VARNISH
CRS	COURSES(S)	H/H	HOLLOW METAL	PLYD	PLYWOOD	VB	VAPOR BARRIER
CT	CERAMIC TILE	HORIZ	HORIZONTAL	PNL	PANEL	VCT	VINYL COMPOSITION TILE
CY	CUBIC YARD	HPC	HIGH PRESSURE LAMINATE	PNT	PAIN	VERT	VERTICAL
D	DEPTH	HR	HOUR	PREFAB	PREFABRICATED	VE	VENT
DF	DRINKING FOUNTAIN	H/VAC	HEATING, VENTILATING & AIR CONDITIONING	PREFIN	PRE-FINISHED	VEST	VESTIBULE
DIAM	DIAMETER	H/W	HANDICAPPED ACCESSIBLE	PSF	POUNDS PER SQUARE FOOT	VIF	VERIFY IN FIELD
DIAG	DIAGONAL	IN	INCH	PSI	POUNDS PER SQUARE INCH	VNR	VENEER
DIH	DIMENSION	INCL	INCLUDED, INCLUDING	PT	PRESSURE TREATED	VTR	VENT THROUGH ROOF
DL	DEAD LOAD	INSUL	INSULATION	PTD	PAINTED	VVC	VINYL WALL COVERING
DN	DOWN	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	W	WIDE
DO	DITTO	INV	INVERT	PVMT	PAVEMENT	W/	WITH
DR	DR	JAN	JANITOR	QT	QUARRY TILE	W/C	WATER CLOSET/WALL COVERING
DTL	DETAIL	JNT	JOINT	QTY	QUANTITY	WD	WOOD
DWG	DRAWING	L	LENGTH	QTZ	QUARTZ	WD PNL	WOOD PANELING
EA	EACH	LAH	LAMINATED	R	RISER/RADIUS	WF	WIDE FLANGE
EFS	EXTERIOR INSULATION FINISH SYSTEM	LAV	LAVATORY	RC	RESILIENT CHANNEL	WN	WINDOW
EJ	EXPANSION JOINT	LB	LOAD	RD	ROOF DRAIN	W/O	WITHOUT
EL	ELEVATION	LF	LINEAR FEET	RECT	RECTANGULAR	WR	WATER RESISTANT
ELEC	ELECTRIC (AL)	LG	LIGHT GAUGE	REF	REFERENCE	WT	WEIGHT
ELEV	ELEVATOR/ELEVATION	LGF	LIGHT GAUGE METAL FRAMING	REG	REGULAR	WUF	WELDED WIRE FABRIC
EH	ENTRANCE HAT	LIN, MTL	LINEAR METAL CEILING	REIN	REINFORCE (D) (MENT)		
ENTR	ENTRANCE	LNOLEUM	LINOLEUM	REQD	REQUIRED		
EPS	EXPANDED POLYSTYRENE	LL	LIVE LOAD	RES	RESILIENT FLOORING		

## SYMBOLS :

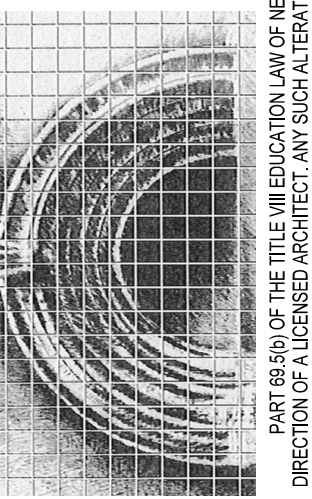


## LIST OF DRAWINGS :

- T1.1 TITLE SHEET
  - G1.1 GENERAL NOTES & WALL TYPES
- CIVIL**
- L0.1 SCHEMATIC SITE PLAN
  - L2.1 SITE GRADING, DRAINAGE AND UTILITIES PLANS
  - L2.2 AERIAL APPARATUS ACCESS PLAN
  - L3.1 SITE LAYOUT PLAN
  - L4.1 PLANTING PLAN
  - L5.1 SITE EROSION CONTROL PLAN
  - L6.1 SITE DETAILS
  - L6.2 SITE DETAILS
- ARCHITECTURAL**
- SK1.1 FIRST FLOOR PLAN
  - SK1.2 SECOND FLOOR PLAN
  - SK1.3 THIRD FLOOR PLAN
  - SK1.1 EXTERIOR ELEVATIONS
  - SK1.1 EXTERIOR ELEVATIONS

**RIVER STREET APARTMENTS**  
RIVER STREET, CORTLAND NEW YORK

**HOLMES ■ KING ■ KALLQUIST**  
& Associates, Architects, LLP  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
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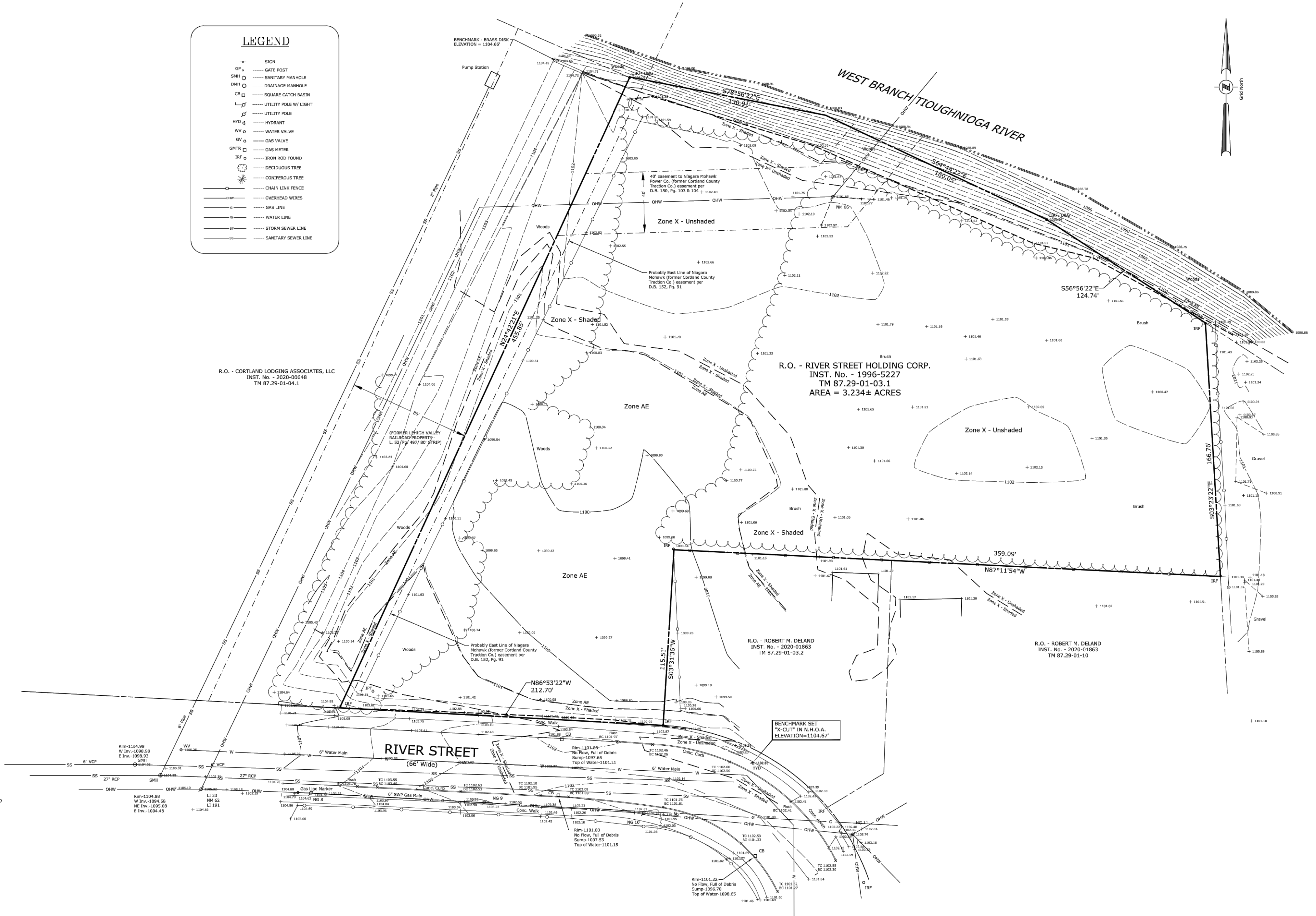
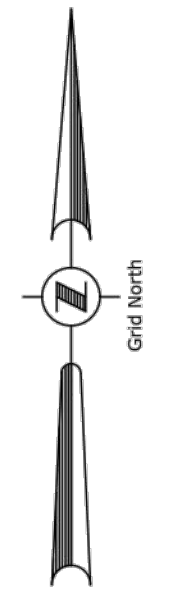


TITLE SHEET

# T1.1

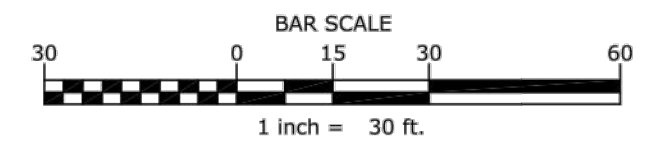
**LEGEND**

- SIGN
- GP ○ GATE POST
- SMH ○ SANITARY MANHOLE
- DMH ○ DRAINAGE MANHOLE
- CB □ SQUARE CATCH BASIN
- U ○ UTILITY POLE W/ LIGHT
- U ○ UTILITY POLE
- HYD ○ HYDRANT
- WV ○ WATER VALVE
- GV ○ GAS VALVE
- GMTR ○ GAS METER
- IRF ○ IRON ROD FOUND
- DECIDUOUS TREE
- CONIFEROUS TREE
- CHAIN LINK FENCE
- OVERHEAD WIRES
- GAS LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE



- MAP NOTES**
- 1.) NORTH ORIENTATION IS BASED ON GRID NORTH FROM RTK GPS OBSERVATIONS.
  - 2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
  - 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
  - 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
  - 5.) FIELD WORK PERFORMED BETWEEN AUGUST 30-31, 2022.
  - 6.) SUBJECT TO A PERMANENT EASEMENT TO CORTLAND COUNTY TRACTION CO. (NOW NIAGARA MOHAWK POWER CO. PER D.B. 150, Pg. 103.
  - 7.) SUBJECT TO A PERMANENT EASEMENT TO CORTLAND COUNTY TRACTION CO. (NOW NIAGARA MOHAWK POWER CO. PER D.B. 150, Pg. 104.
  - 8.) SUBJECT TO A PERMANENT EASEMENT TO CORTLAND COUNTY TRACTION CO. (NOW NIAGARA MOHAWK POWER CO. PER D.B. 152, Pg. 913.
  - 9.) SUBJECT TO A PERMANENT EASEMENT TO NEW YORK TELEPHONE CO. FOR BURIED COMMUNICATION LINES PER D.B. 320, Pg. 637 (UNABLE TO PLOT BUT APPEARS TO RUN TO THE EAST OF SUBJECT PROPERTY)

- MAP REFERENCES**
- 1.) PROPOSED SUBDIVISION LANDS OF DAVID H. & JEAN BROWN PREPARED BY JAMES McNAMARA, L.S. DATED MARCH 29, 1993, REVISED MAY 28, 1993 AND FILED AS MAP No. 3297.
  - 2.) MAP OF LANDS OF ROBERT C. LUCAS AND JAMES B. LUCAS PREPARED BY STOCKWIN SURVEYING DATED JANUARY 2020 AND FILED AS MAP No. 2020-00649.



I CERTIFY THAT THIS SURVEY WAS PREPARED FROM AN ACTUAL FIELD SURVEY AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE OF THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

*David M. Sliski* 10/05/2022  
 DAVID M. SLISKI PLS # 50105 DATE

DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.

**BOUNDARY AND TOPOGRAPHIC SURVEY MAP**  
 FOR THE LANDS OF  
**RIVER STREET HOLDING CORP.**  
 No # RIVER STREET (Vacant)

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.

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 C.T. MALE ASSOCIATES

APPROVED: [Signature] 40  
 DRAFTED: TFS 66% OF CORTLAND  
 CHECKED: DMS  
 PROJ. NO : 22.2584  
 SCALE : 1" = 30 FT.  
 DATE : OCT. 5, 2022

PARCEL 4 OF THE DAVID H. & JEAN BROWN SUBDIVISION - FILED MAP No. 3297  
 CORTLAND COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**  
 Engineering, Surveying, Architecture, Landscaps Architecture & Geology, D.P.C.  
 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400  
 COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY  
 JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY  
 www.ctmale.com

SHEET 1 OF 1  
 DWG. NO: 22-0636

\*ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY\*.



STAMP

**KEPLINGER  
FREEMAN  
ASSOCIATES**  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
6320 FLY ROAD, SUITE 109 EAST SYRACUSE, NEW YORK 13057  
PHONE: (315) 445-7980 FAX: (315) 445-7981

**RZ Engineering, PLLC**  
6320 FLY ROAD SUITE 109  
EAST SYRACUSE, NY 13057  
PH: 315.432.1089

**PB  
SUBMISSION  
10/14/2022**

REV No.	DATE	DRAWN BY	DESCRIPTION

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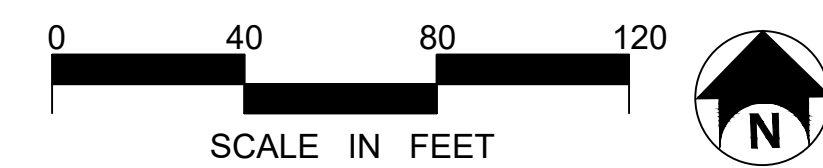
JOB NO: 41080
DATE: 10/14/2022
DRAWN BY: EK
SCALE: SEE DRAWING

**CORTLAND SENIOR HOUSING**  
31 RIVER STREET, CORTLAND, NY 13045

**HOLMES • KING • KALLOQUIST  
& Associates, Architects, LLP**  
575 NORTH SALINA STREET, SYRACUSE, NY 13208  
PH: (315) 476-8371 FAX: (315) 476-5420  
www.hkkarchitects.com

**SCHEMATIC  
SITE PLAN**

**L1.0**



**GENERAL NOTES**

1. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY CT MALE ASSOCIATES, SYRACUSE, DATED OCTOBER 5, 2022.

OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.

2. SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE, STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT EXISTING ORGANIC TOPSOILS FOR RESPREADING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.

3. ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.

4. PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.

5. ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.

6. THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.

7. ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.

8. ALL NON-PAVED AREAS ARE TO BE LAWN UNLESS OTHERWISE NOTED.

9. CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE WITHIN THE CONTRACT LIMIT LINE. EXISTING LAWNS SHALL BE MOWED AS MUCH AS PRACTICAL TO KEEP AREA FROM LOOKING UNSIGHTLY. ALL TRASH AND DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
100		CONTOUR
+377.7		SPOT ELEVATION
CT/CE		CURB TAPER/END
TC/BC		TOP/BOTTOM OF CURB
HP/LP		HIGH / LOW POINT
	TP-2	TEST PIT
	B-1	BORING (SEE SPECIFICATIONS FOR BORING INFO)
		GUIDERAIL
		FENCE
		UTILITY POLE
		WATER LINE
EX 4" FM	HQ 4" FM	FIRE HYDRANT
EX ST	ST	FORCE MAIN SANITARY LINE
	UD	STORM PIPE
EX SAN	S	UNDERDRAIN
E-T		SANITARY PIPE
E	UE	OVERHEAD ELECTRIC
T		UNDERGROUND ELECTRIC
		TELEPHONE
	FH MH	FORCE MAIN MANHOLE
	ST MH	STORM STRUCTURE
	DW	DRYWELL
	DI	INLET
	CB MH	CATCH BASIN/MANHOLE
	CO	CLEAN OUT
	SMH	SANITARY MANHOLE
		ASPHALT PAVEMENT-PARKING
		ASPHALT PAVEMENT-DRIVE
		CONCRETE PAVEMENT
		OUTLET PROTECTION
		TRAFFIC SIGN
		TRAFFIC SIGN - SET IN BOLLARD
		LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
		CURB
		CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
		SILT FENCE
		TREE
		SHRUB
		PLANT KEY
		VEGETATION

STAMP

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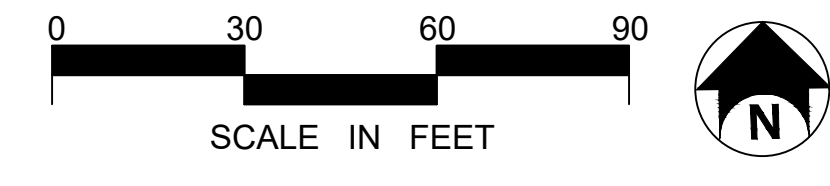
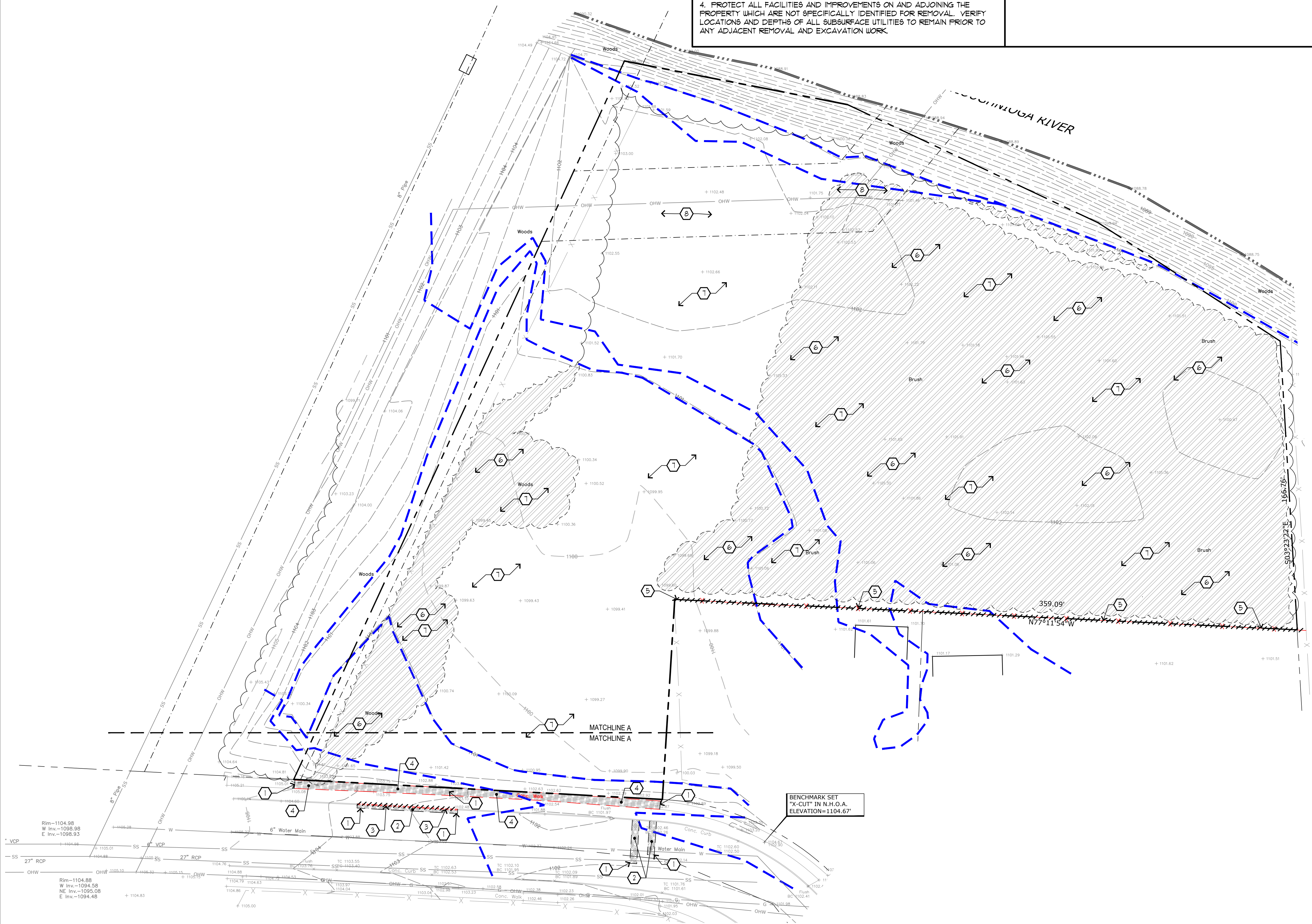
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JOB NO: 41080  
 DATE: 10/14/2022  
 DRAWN BY: EK  
 SCALE: SEE DRAWING

**EXISTING CONDITIONS & REMOVAL/DEMOLITION NOTES**

- CLL CONTRACT LIMIT LINE
- SAWCUT ASPHALT OR CONCRETE PAVEMENT. SAWCUT ASPHALT IN NEAT STRAIGHT LINE AND SAWCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
  - REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
  - REMOVE EXISTING CONCRETE CURB AND DISPOSE OF OFF SITE.
  - REMOVE EXISTING CONCRETE PAVEMENT INCLUDING BASE MATERIAL AND LEGALLY DISPOSE OF OFF-SITE.
  - REMOVE EXISTING FENCE TO INCLUDE POSTS AND FOOTINGS AND DISPOSE OF OFF SITE.
  - REMOVE VEGETATION, DEBRIS, GARBAGE, PLASTIC, ETC. AND DISPOSE OF OFF SITE.
  - REMOVE TOP SOIL AND STOCKPILE FOR REUSE. REMOVE ALL EXCESS TOPSOIL NOT NEEDED.
  - NO STOCKPILING OF MATERIAL INCLUDING SOIL, STONE OR BUILDING MATERIALS IS ALLOWED WITHIN THE NATIONAL GRID EASEMENT. NO PARKING OF ANY EQUIPMENT OR VEHICLES IS ALLOWED IN THE EASEMENT AREA. A SPOTTER WITH AIR HORN MUST BE UTILIZED WHEN WORKING WITH THE EASEMENT AREA. THE EASEMENT IS TO BE DELINEATED WITH SIGNAGE AND OR BARRELS AND CONES TO DEFINE THE EASEMENT AREA. EXCAVATORS AND DUMP BOXES ARE NOT ALLOWED IN THE EASEMENT AREA TO REDUCE RISK AROUND POWER LINES.



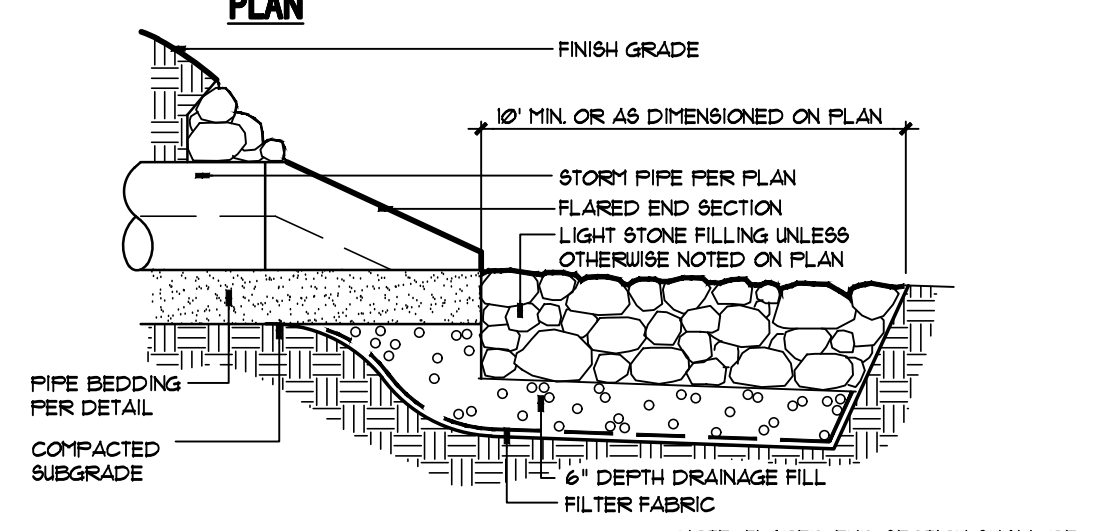
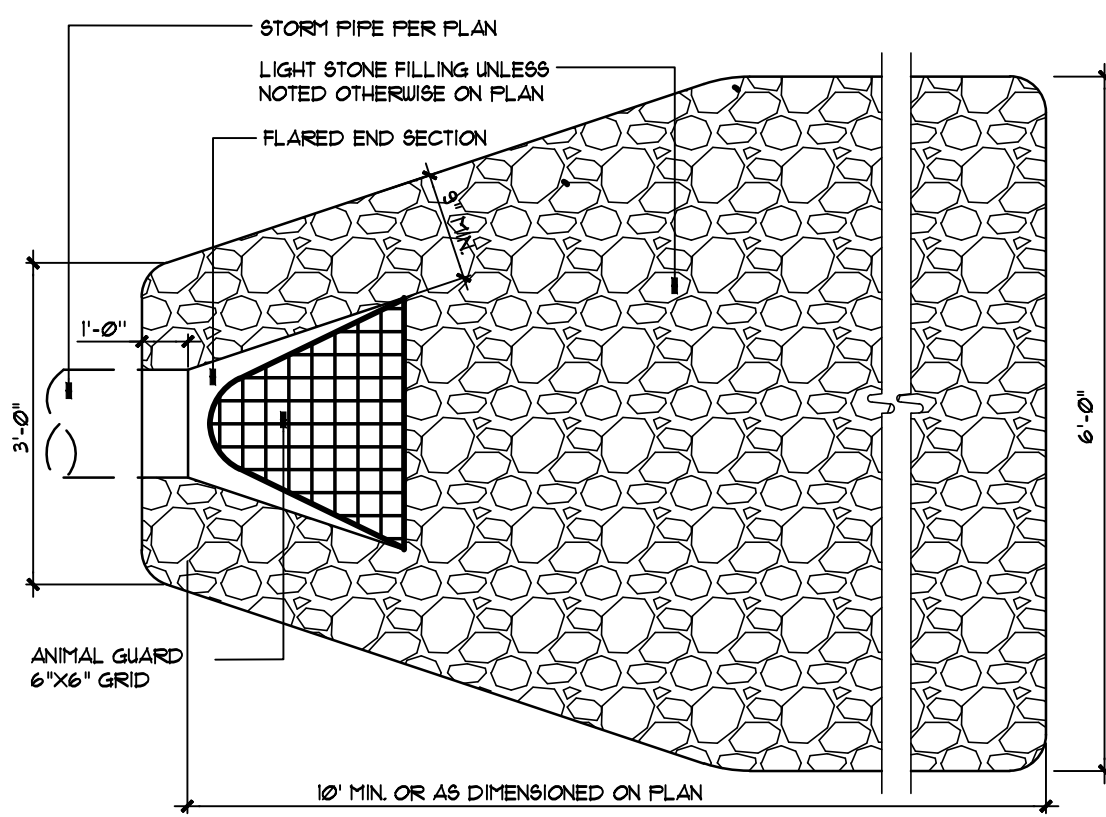
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SITE PREPARATION PLAN

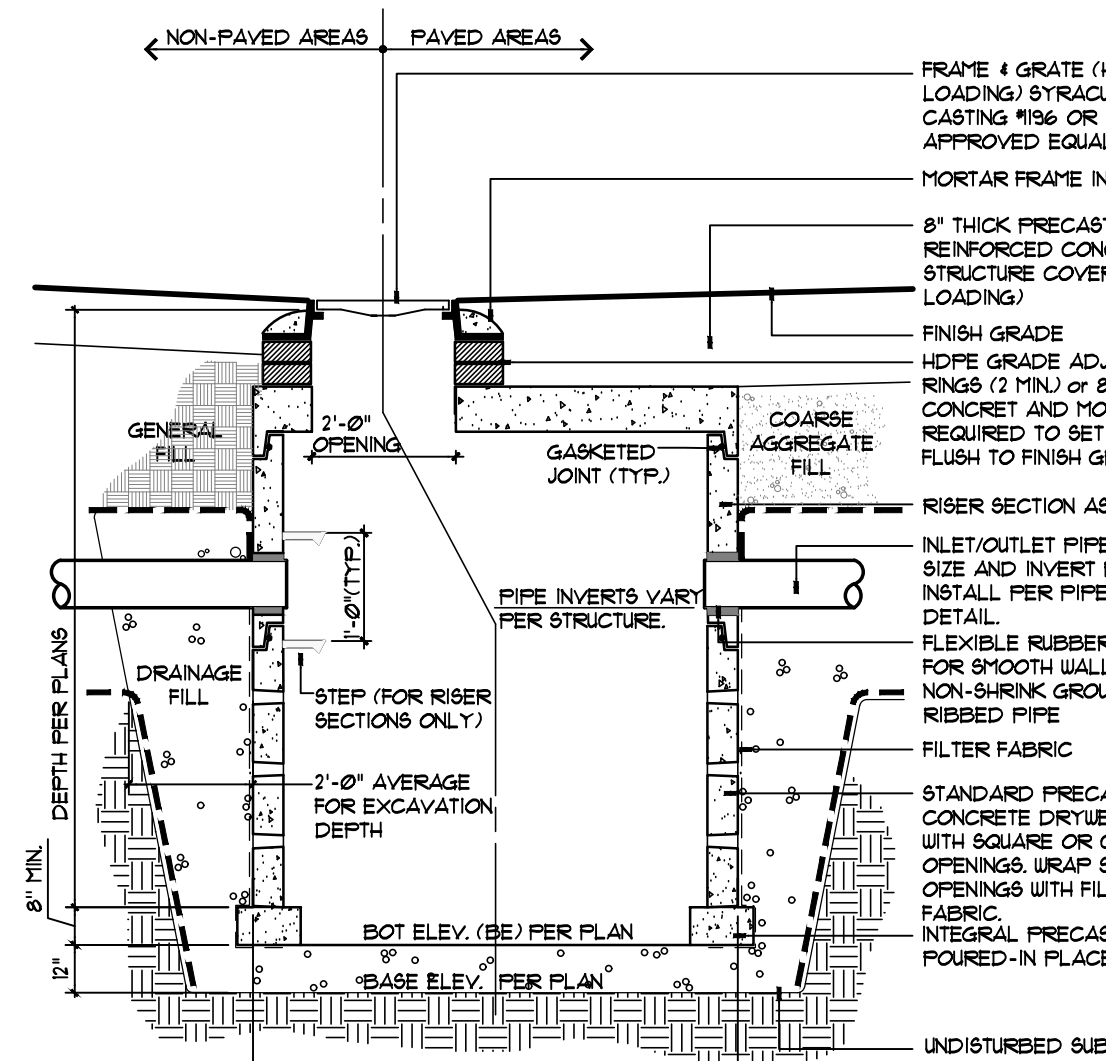
**L1.1**

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NOTE: FLARED END SECTION SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR ALUMINUM WITH SAFETY BARS SYSTEM ON END SECTIONS 5" OR LARGER.

**2 FLARED END SECTION**  
NOT TO SCALE 33-4000-40



NOTES:  
1. ALL SECTIONS REINFORCED PRECAST CONCRETE DESIGNED FOR H-20 LOADING.  
2. HEIGHT OF DRYWELL CHAMBER PER PLAN.  
3. SE - BOTTOM ELEVATION. REFER TO PLAN.

**1 DRYWELL (DW)**  
NOT TO SCALE 33-4000-05

- GRADING, DRAINAGE & UTILITY NOTES**
- MEET LINE AND GRADE.
  - MEET TOP AND FACE OF EXISTING CURB.
  - CORE DRILL EXISTING STORM STRUCTURE AND PROVIDE WATER TIGHT CONNECTION.
  - INSTALL SANITARY CLEAN OUT PER DETAIL 1/L6.2.
  - INSTALL GATE VALVE PER DETAIL 6/L6.2.
  - WATER CONNECTION TO CITY WATER MAIN, COORDINATE WITH CITY OF CORTLAND WATER DEPARTMENT.
  - WYE CONNECT TO EXISTING SANITARY LINE. COORDINATE WITH CITY OF CORTLAND.
  - INSTALL STONE LINED SWALE PER DETAIL 1/L6.2.

- GRADING and UTILITY GENERAL NOTES**
- ANY/ALL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
  - WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
  - ALL CONCRETE PAVING AT ALL DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOUBLED TO FOUNDATION WALL PER DETAILS.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE DISCONNECTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND THE CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM KEPLINGER FREEMAN ASSOCIATES (KFA)/RZ ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. KFA AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

**STAMP**

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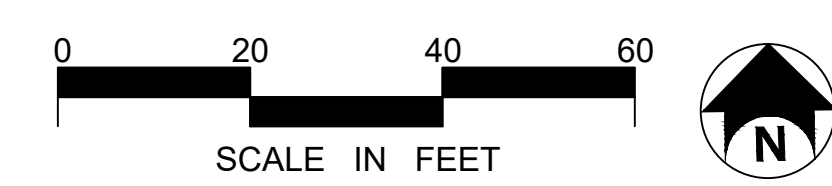
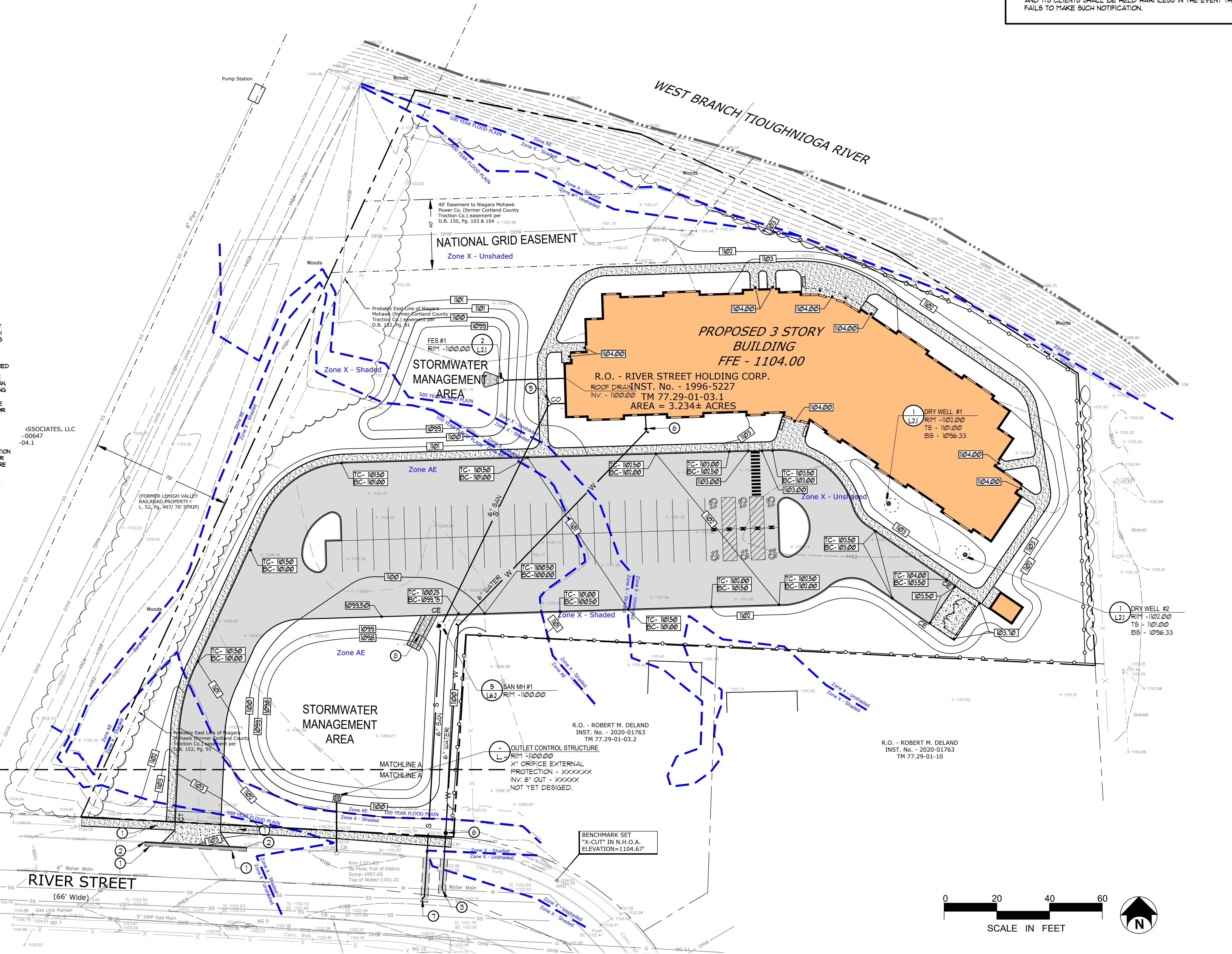
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**SITE GRADING, DRAINAGE AND UTILITIES PLAN**

**L2.1**

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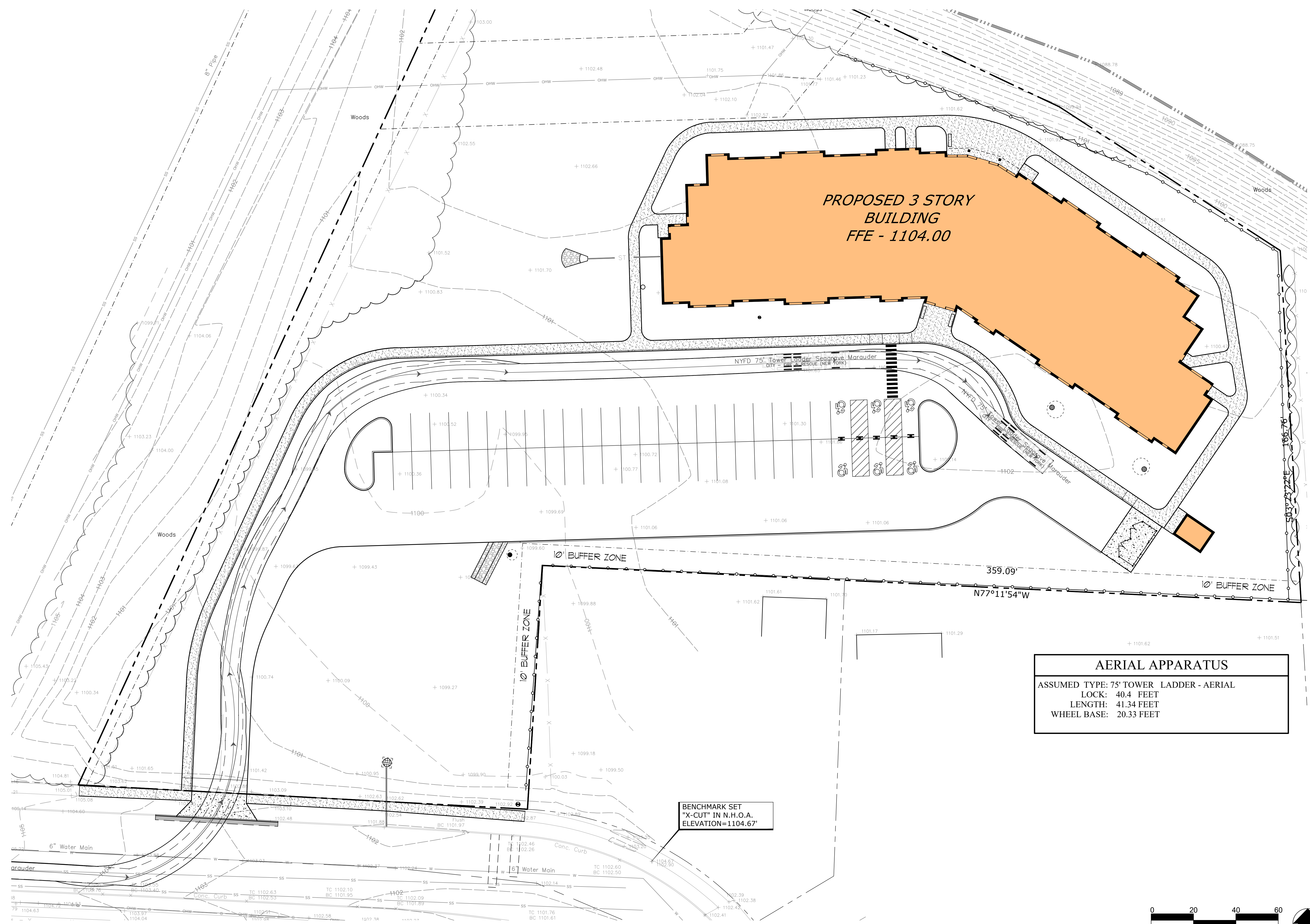
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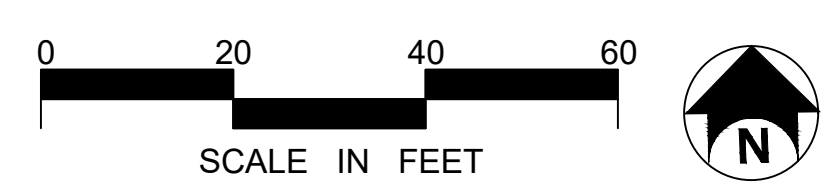
**AERIAL APPARATUS ACCESS PLAN**

**L2.2**



**AERIAL APPARATUS**  
ASSUMED TYPE: 75' TOWER LADDER - AERIAL  
LOCK: 40.4 FEET  
LENGTH: 41.34 FEET  
WHEEL BASE: 20.33 FEET

BENCHMARK SET  
"X-CUT" IN N.H.O.A.  
ELEVATION=1104.67



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**ZONING DATA**

L3.0-ZONING



ZONING: GENERAL BUSINESS LOCAL (GB-2)  
 INTENDED USE AS MULTIFAMILY RESIDENTIAL (SENIOR HOUSING) IS ALLOWABLE BY CODE  
 PROPOSED BUILDING FOOTPRINT IS 18,313 SF

MIN. BUILDING HEIGHT:	CITY CODE	PROPOSAL	VARIANCE
22 FEET	22 FEET	X FEET	N/A
MAX. BUILDING HEIGHT:	45 FEET	X FEET	N/A
MIN. LOT SIZE:	10,000 SF	133,903 ± SF	N/A
MIN. LOT WIDTH:	100 FEET	165'-9" FEET	N/A
MAX. LOT COVERAGE:	60%	45.2% (60,619 SF)	N/A
MIN. FRONT YARD SETBACK:	25 FEET	61'-1" FEET	N/A
MAX. FRONT YARD SETBACK:	40 FEET	XX FEET	XXX
SIDE YARD SETBACK:	15 FEET	35'-9" FEET	N/A
REAR YARD SETBACK:	20 FEET	36'-1" FEET	N/A
PARKING REQUIREMENTS:	15 PER DU	53 SPACES	1 / UNIT

ADDITIONAL REQUIREMENTS:  
 XXXX

9'X15' STALLS REQUIRED, 9'X10' SHOWN  
 15 PARKING SPACES X 50' DU = 75 SPACES

**SIGN SCHEDULE**

KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NY&D.O.T. M.U.T.C.D. NO. / COMMENTS
A		12" X 18" 7'-0" HT.	SIGN NO: P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER. COMMENTS:
B		12" X 18" 7'-0" HT.	SIGN NO: - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER

NOTES:  
 1. REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION.  
 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT  
 N.Y.&D.O.T. "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

**LAYOUT CONSTRUCTION NOTES**

L3.0-LAYOUT-NOTES

- 1 INSTALL ASPHALT PARKING PAVEMENT-PARKING PER DETAIL 1/L.6.
- 2 INSTALL CONCRETE PAVEMENT PER DETAIL 2/L.6.1.
- 3 INSTALL CONCRETE PAVEMENT-HEAVY DUTY PER DETAIL 17/L.6.1.
- 4 INSTALL CONCRETE CURB PER DETAIL 5/L.6.1.
- 5 INSTALL INTEGRAL CONCRETE CURB AND PAVEMENT PER DETAIL 6/L.6.1.
- 6 CONCRETE DOUELING AT BUILDING PER DETAIL 9/L.6.1.
- 7 4" WIDE PAINTED LINES, (TYP.)
- 8 4" PAINTED LINES 1' O.C. @ 45° ANGLE.
- 9 INSTALL RESERVED PARKING PER DETAIL 11/L.6.1.
- 10 INSTALL SIGN POST SET IN BOLLARD PER DETAIL 13/L.6.1.
- 11 INSTALL WASTE ENCLOSURE PER DETAIL 15/L.6.1.
- 12 INSTALL 4 FOOT HEIGHT BLACK VINYL COATED CHAIN LINK FENCE PER DETAIL 17/L.6.1.
- 13 12' X 16' MAINTENANCE SHED BY OWNER.
- 14 INSTALL 6" BENCH
- 15 INSTALL SEEDED LAWN PER DETAIL 14/L.6.1.
- 16 INSTALL CROSSWALK PER DETAIL 12/L.6.1.
- 17 INSTALL ACCESSIBLE RAMP PER DETAIL 8/L.6.1.

STAMP

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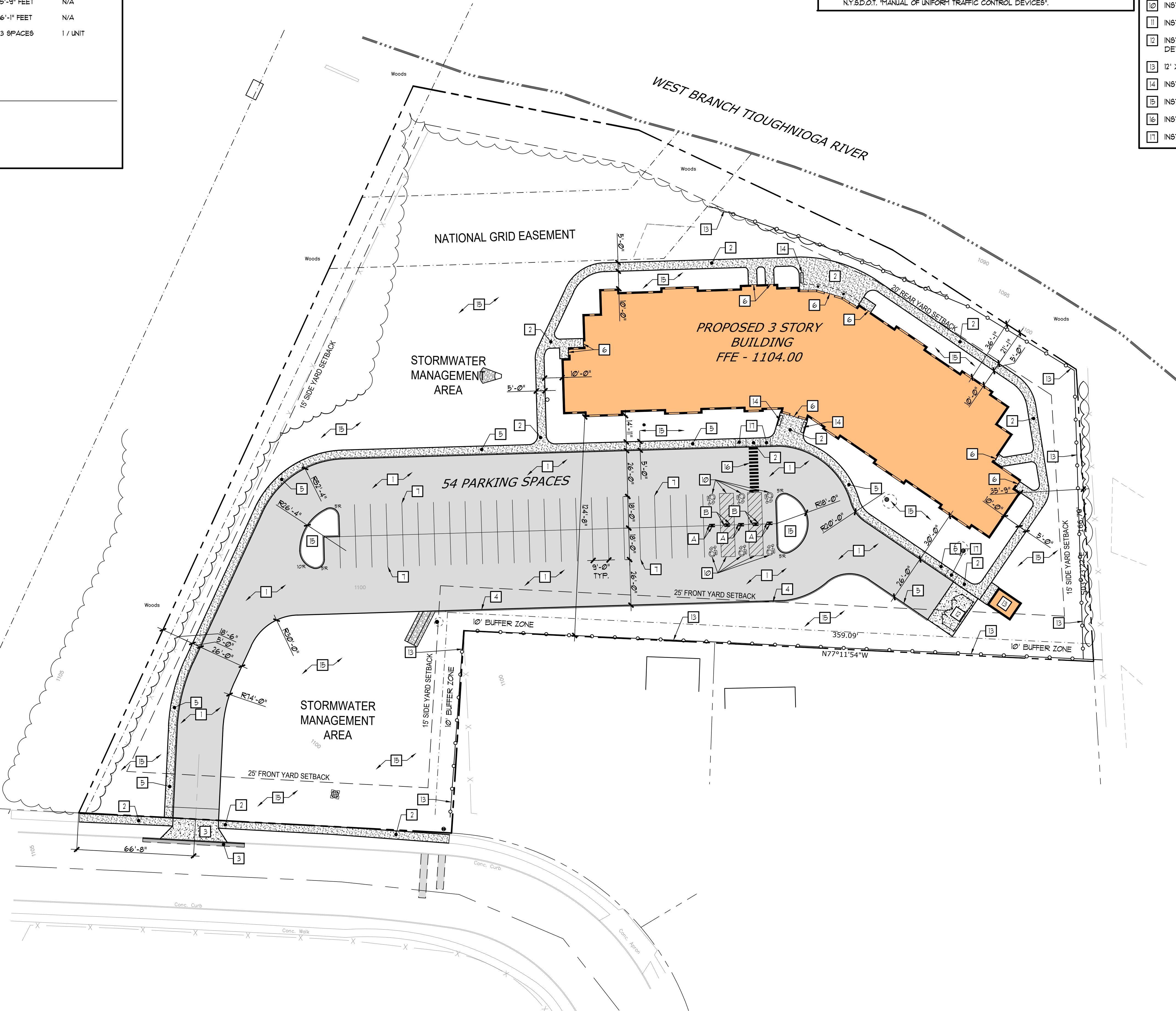
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SITE LAYOUT  
 PLAN

**L3.1**



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SITE PLANTING PLAN

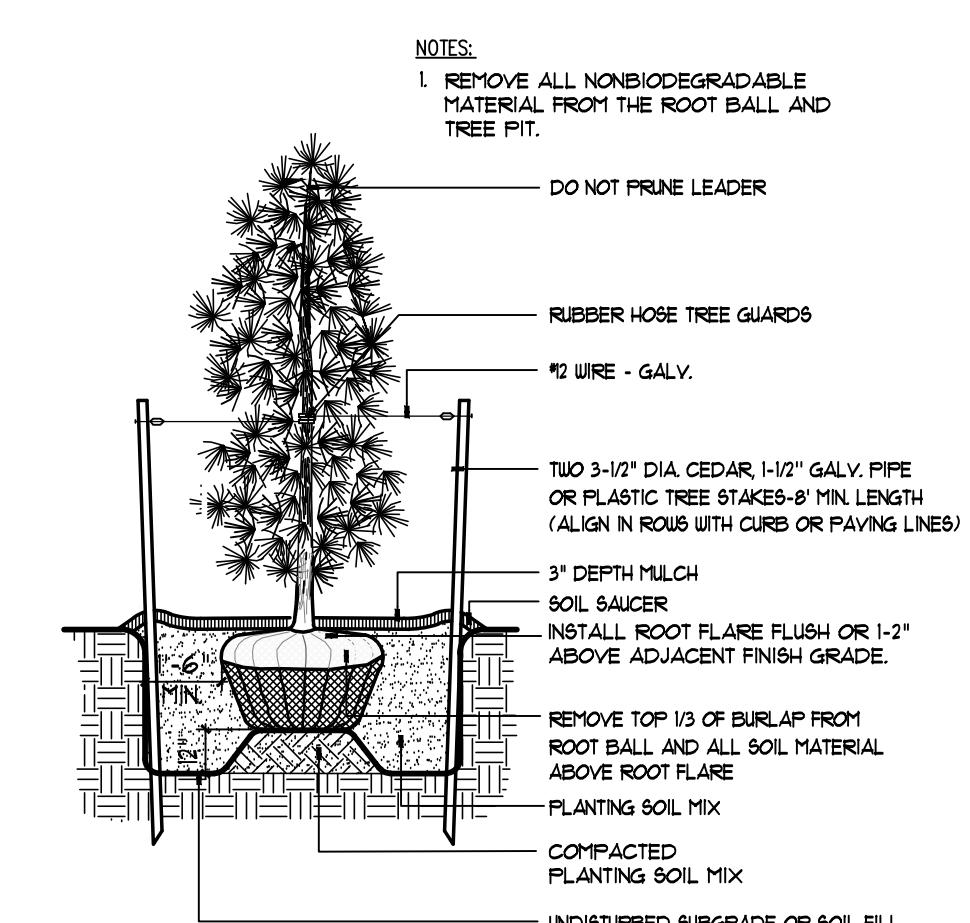
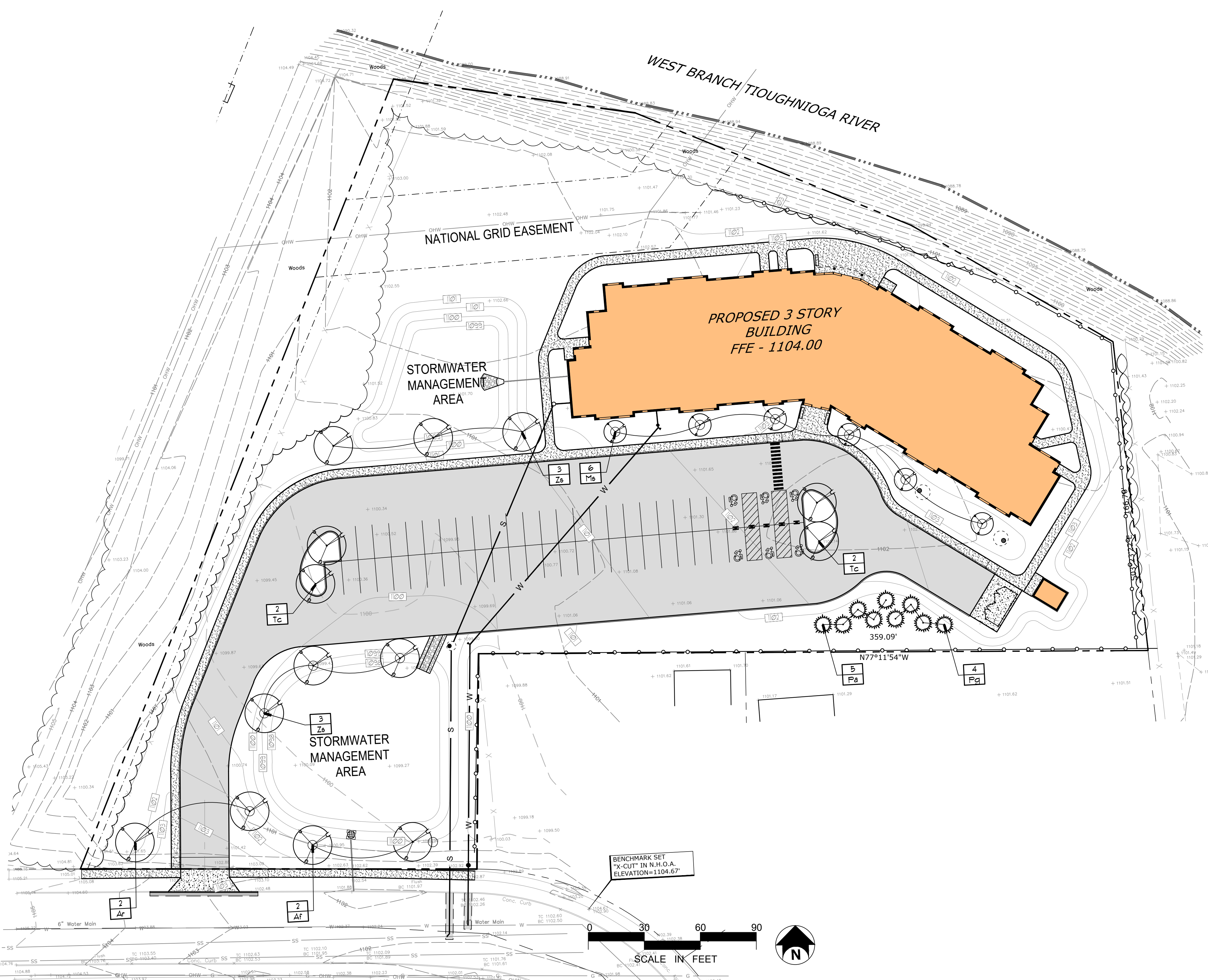
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PLANT LIST

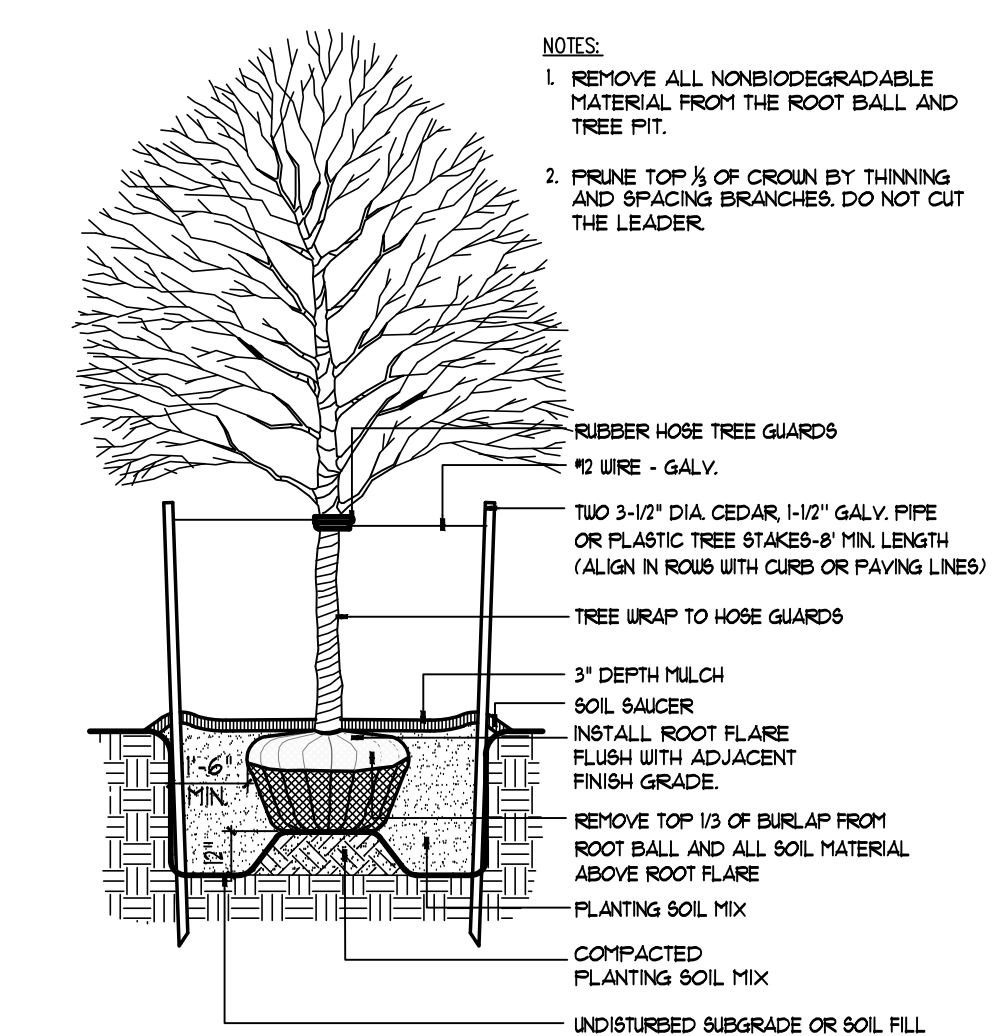
KEY	COMMON NAME	BOTANICAL NAME	CALIPER	HEIGHT	CONDITION	NOTE
<b>TREES</b>						
Af	AUTUMN BLAZE RED MAPLE	ACER FREEMANII	2.5" CAL.		B4B	
Ar	RED SUNSET MAPLE	ACER RUBRUM	2.5" CAL.		B4B	
Tc	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2.5" CAL.		B4B	
Zs	VILLAGE GREEN ZELKOVA	ZELKOVA SERRATA 'VILLAGE GREEN'	2.5" CAL.		B4B	
M6	FRAIRIE FIRE CRABAPPLE	MALUS 'PRAIRIE FIRE'	2.5" CAL.		B4B	
<b>EVERGREENS</b>						
Pa	NORWAY SPRUCE	PICEA ABIES		8'-10'	B4B	
Pg	WHITE SPRUCE	PICEA GLAUCA		8'-10'	B4B	

PLANT NOTES

- △ 3" SHREDDED BARK MULCH WITH 18" PLANT SOIL AS SPECIFIED.
- △ ALL PLANT BEDS TO HAVE SPADE CUT EDGES UNLESS OTHERWISE SPECIFIED.



SECTION 2  
EVERGREEN PLANTING  
NOT TO SCALE 32-9300-03



SECTION 1  
TREE PLANTING  
NOT TO SCALE 32-9300-01

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**WASTE DISPOSAL / SPILL PREVENTION NOTES**

**WASTE DISPOSAL NOTES:**  
 1. COLLECT AND STORE ALL WASTE MATERIALS AND DEBRIS IN DUMPSTERS OR OTHER ACCEPTABLE WASTE FACILITIES. ALL COLLECTED WASTE MATERIALS SHALL BE LEGALLY REMOVED AND DISPOSED OF OFF SITE. DUMPSTER SHALL BE EMPTIED ON A PERIODIC BASIS DEPENDING ON GENERATION OF WASTE MATERIAL. NO BURNING OR BURYING OF WASTE MATERIALS WILL BE ALLOWED.  
 2. STORE, HANDLE AND DISPOSE OF ALL HAZARDOUS MATERIALS AS SPECIFIED BY LOCAL OR STATE LAWS.  
**SPILL PREVENTION NOTES:**  
 1. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT EXCESS CONCRETE OR DRUM WASH WATER EXCEPT FOR AT DESIGNATED CONCRETE WASHOUT AREAS.  
 2. ALL ONSITE FUELING OF EQUIPMENT AND VEHICLES SHALL BE CONDUCTED PER NYSDEC GUIDELINES FOR PETROLEUM BULK STORAGE.  
 3. MONITOR ALL CONSTRUCTION VEHICLES AND EQUIPMENT FOR LEAKS.  
 4. ALL PETROLEUM AND LUBRICANTS USED FOR THE OPERATION OF VEHICLES AND EQUIPMENT SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. WHEN POSSIBLE, STORE THESE PRODUCTS IN APPROPRIATE CONTAINERS OR UNDER ROOFED FACILITIES.

**SOIL RESTORATION NOTES**

1. ACCORDING TO SECTION 5 OF THE NYS STORMWATER DESIGN MANUAL, SOIL RESTORATION PRACTICES MUST BE APPLIED ACROSS THE SITE IN AREAS OF SOIL DISTURBANCE.  
 2. SOIL RESTORATION REQUIREMENTS:  
 TYPE OF SOIL DISTURBANCE SOIL RESTORATION REQUIREMENT  
 NO SOIL DISTURBANCE RESTORATION NOT PERMITTED  
 MINIMAL SOIL DISTURBANCE RESTORATION NOT REQUIRED  
 AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE H&G A4B - APPLY 6 INCHES OF TOPSOIL H&G C4D AERATE\* AND APPLY 6 INCHES OF TOPSOIL  
 AREAS OF CUT OR FILL H&G A4B - AERATE AND APPLY 6 INCHES OF TOPSOIL H&G C4D - APPLY FULL SOIL RESTORATION\*\*  
 HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE 3-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS) APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)  
 AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.  
 REDEVELOPMENT PROJECTS SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.  
 \*PER "DEEP RIPPING AND DE-COMPACTION DEC 2008".

**SOIL RESTORATION PRACTICE IMPLEMENTATION:**

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:  
 1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.  
 2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER MIXING AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.  
 3. ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.  
 4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.  
 5. VEGETATE AS REQUIRED BY APPROVED PLAN.  
 6. COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.  
 APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)  
 RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.  
 SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.  
 \*PER "DEEP RIPPING AND DE-COMPACTION DEC 2008".

**FIGURES 5.16 AND 5.17 TO THE BELOW SHOW TWO ATTACHMENTS USED FOR SOIL DECOMPACTION TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATION THAT ARE WITHIN 24 INCHES OF THE SURFACE.**

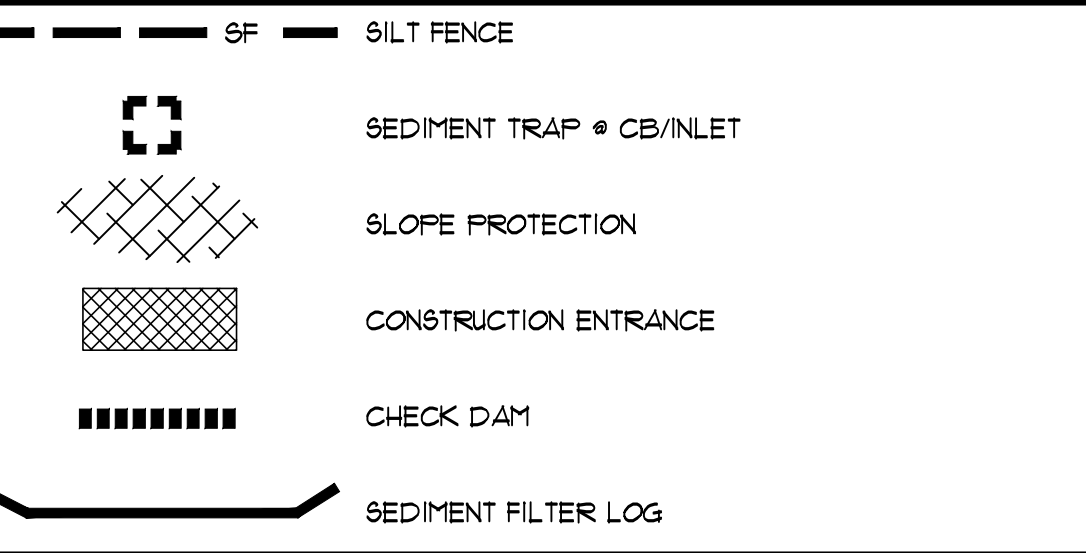


4. AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.  
 5. THE CONTRACTOR MUST KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS, (SOMETIMES IT MAY BE NECESSARY TO DE-TATCH THE TURF EVERY FEW YEARS).  
 6. ALL SOIL RESTORATION SHALL BE IN ACCORDANCE WITH NYSDEC REGULATIONS AND THE APPROVED SWPPP FOR THE PROJECT.

**EROSION CONTROL NOTES and EROSION CONTROL SEQUENCING**

**EROSION AND SEDIMENT CONTROL NOTES:**  
 1. PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED, ALL EROSION AND SEDIMENT CONTROL MEASURES, AS SHOWN ON THE SITE PLAN AND AS OTHERWISE REQUIRED, SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL AND THE SWPPP PREPARED FOR THE PROJECT, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.  
 2. BARE SOILS SHALL BE MULCHED WITH STRAW AT A RATE OF TWO TONS PER ACRE WITHIN 14 DAYS OF EXPOSURE, UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS. IF CONSTRUCTION ON AN AREA IS SUSPENDED, THE AREA SHALL BE SEEDDED IMMEDIATELY.  
 \*\* ALL DISTURBED AREAS WITHIN THE NYSDOT RIGHT-OF-WAY SHALL BE STABILIZED BY STRAW OR OTHER NYSDOT APPROVED METHOD, AT THE END OF EACH WORK WEEK, REGARDLESS OF WHEN THE SOIL WILL BE DISTURBED AGAIN.  
 3. SITE PREPARATION SHALL INCLUDE:  
 A. SEEDBED PREPARATION - SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROOTS OR STUMPS.  
 B. SOIL AMENDMENTS  
 1. LIME TO PH 6.0  
 2. FERTILIZE WITH 6000 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS/1000 SQ FT).  
 C. SEED MIXTURE  
 1. TEMPORARY SEEDINGS  
 a. RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS/ACRE (0.1 LBS/1000 SQ FT)  
 b. CERTIFIED "HARVESTOCK" WINTER RYE (CEREAL RYE) @ 100 LBS/ACRE (2.5 LBS/1000 SQ FT)  
 2. PERMANENT SEEDINGS  
 a. ROUGH OR OCCASIONALLY MOULDED AREAS: LBS/ACRE LBS/1000 SQ FT  
 EMPIRE BIRDFOOT 5 0.10  
 0.20  
 TREFOIL OR COMMON WHITE CLOVER PLUS\* 5 0.20  
 TALL FESCUE PLUS 20 0.45  
 REDTOP 2 0.05  
 RYEGRASS (PERENNIAL) 5 0.10  
 \*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING  
 D. METHOD OF SEEDING  
 BROADCASTING, DRILLING WITH GULFPAK TYPE SEEDER OR HYDROSEEDING ARE ACCEPTABLE.  
 4. DISTURBED AREAS SHALL BE SEEDDED AS NOTED ABOVE AND MULCHED WITH CLEAN STRAW AS OUTLINED IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. ON SLOPES GREATER THAN 3:1 SEEDDED AREAS SHALL BE STAKED WITH JUTE MESH OR SODDED.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE STREET PAVEMENT AREAS CLEAN OF DIRT AND DEBRIS.  
 6. ACCESS TO DISTURBED AREAS SHALL BE LIMITED TO THE AREAS SHOWN ON THE PLAN. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION SHOWN ON THE PLAN AND ANY OTHER LOCATIONS THE CONTRACTOR INTENDS TO ENTER THE SITE FROM THE ADJACENT ROADWAYS.  
 7. ANY EXISTING DRAINAGE FACILITIES DISRUPTED BY CONSTRUCTION OR IMPACTED BY INSTALLATION OF EROSION CONTROL MEASURES SHALL BE REPLACED TO MATCH EXISTING CONDITIONS OR BETTER.  
 8. ALL DESIGN AND MAINTENANCE MEASURES OUTLINED IN THE SWPPP PREPARED FOR THIS PROJECT SHALL BE IMPLEMENTED AND CARRIED OUT BY THE PARTIES DEEMED RESPONSIBLE FOR THOSE DUTIES.  
 9. THE PERMITEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR MEANS & METHODS OF EROSION CONTROL FACILITIES DURING CONSTRUCTION. IT SHOULD BE NOTED THAT FACILITIES ON THIS DRAWING ARE CONSIDERED MINIMUM & ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE PERMITEE & ITS SUBCONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL MEASURES DEEMED NECESSARY BY THE ENGINEER, TOWN OR NYSDEC.  
 10. PROVIDE EROSION CONTROL MEASURES AS NOTED ON THE PLANS AND AS OTHERWISE REQUIRED TO PREVENT EROSION AND SEDIMENTATION ONTO ADJOINING PROPERTY, STREETS, WATERWAYS, AND ON SITE IMPROVEMENTS BEYOND THE LIMITS OF WORK. COMPLY WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL" AND THE NYSDEC'S "REDUCING THE IMPACTS OF STORMWATER RUNOFF FROM NEW DEVELOPMENT".  
 11. MAINTENANCE - THE CONTRACTOR SHALL INSPECT ALL DRAINAGE STRUCTURES AND EROSION CONTROLS ON A WEEKLY BASIS AND AFTER ALL STORMS (1" RAINFALL OR GREATER) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REPLACING DAMAGED OR SILLED IN EROSION CONTROLS, CLEANING OUT STRUCTURES, AND STABILIZING ERODED OR WASHED OUT SLOPED AREAS.  
 12. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE, LAWN HAVE BECOME ESTABLISHED AND ALL SOURCES OF EROSION HAVE BEEN PERMANENTLY STABILIZED.  
 13. CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE LATEST ISSUE OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".

**SWPPP LEGEND**



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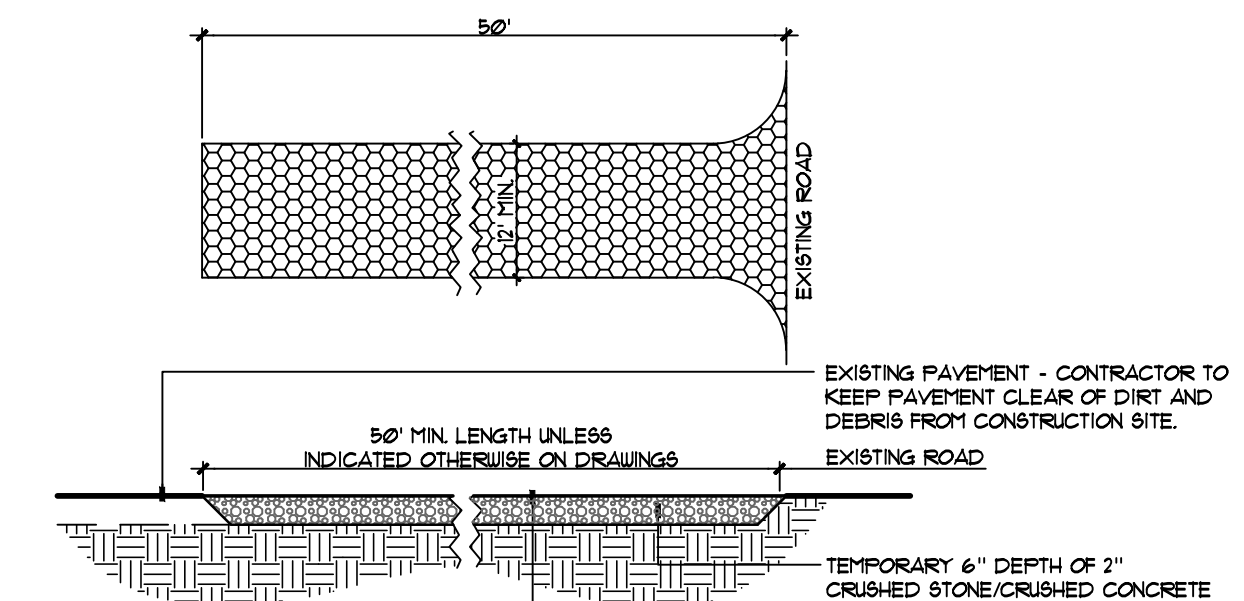
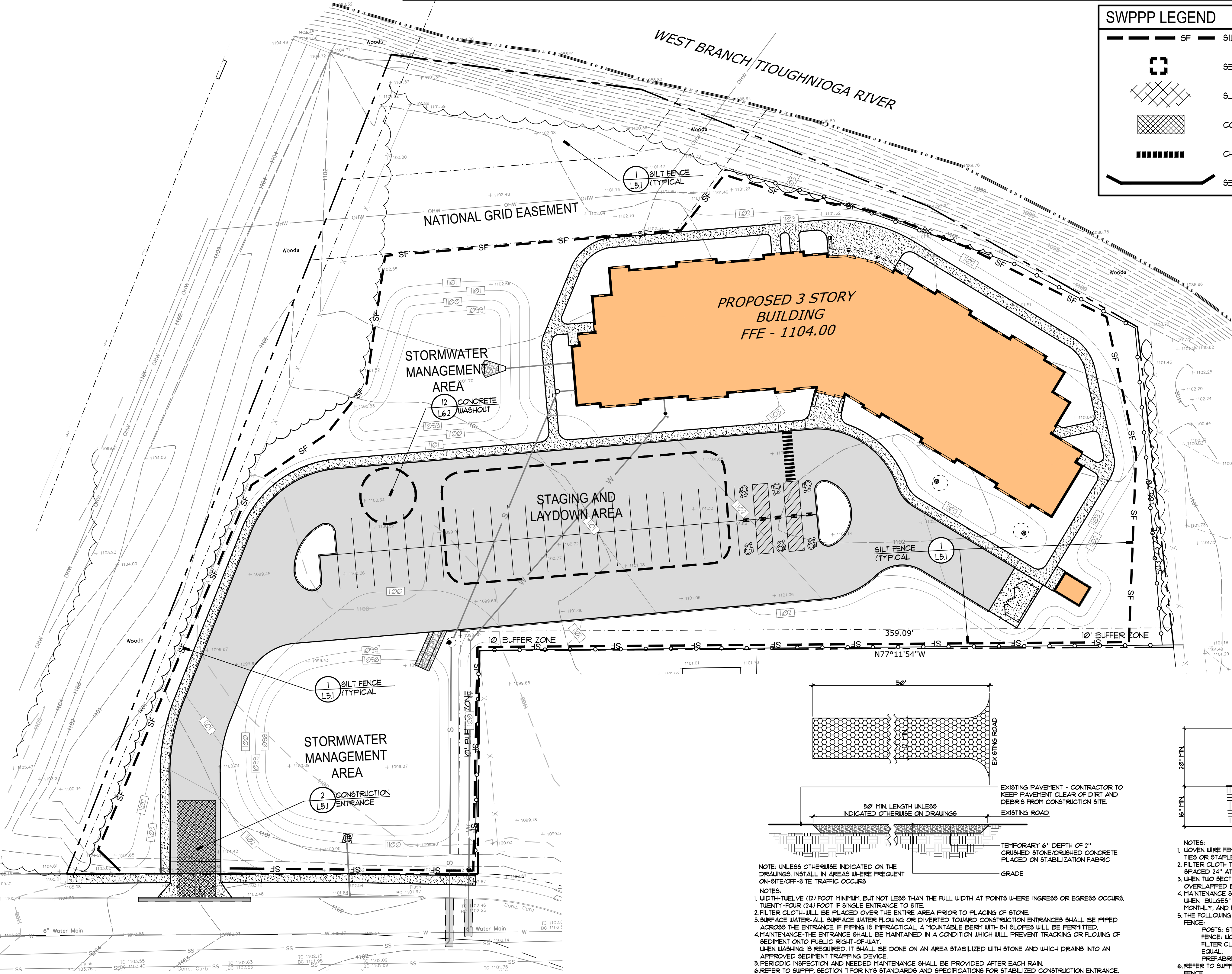
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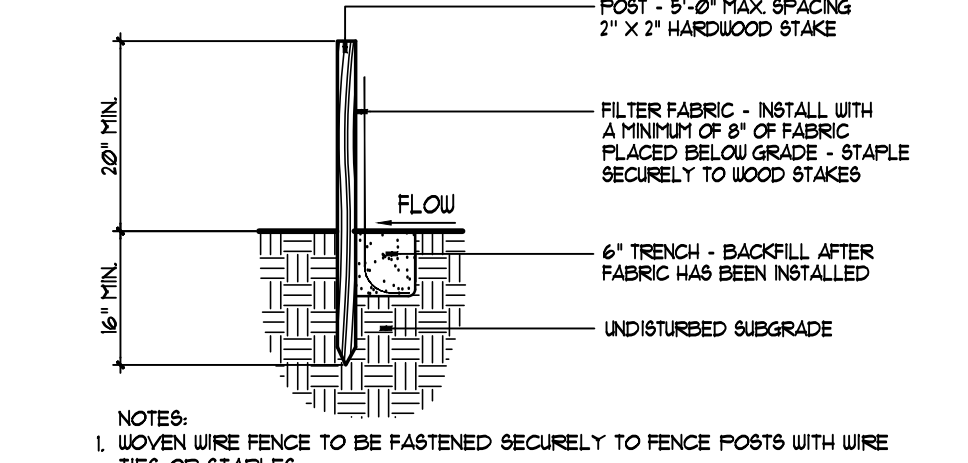
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**SITE EROSION CONTROL PLAN**

**L5.1**



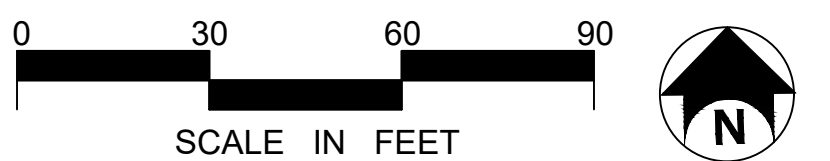
NOTE: UNLESS OTHERWISE INDICATED ON THE DRAWINGS, INSTALL IN AREAS WHERE FREQUENT ON-SITE/OFF-SITE TRAFFIC OCCURS.  
 NOTES:  
 1. WIDTH-TWELVE (12) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.  
 2. FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.  
 3. SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERRY WITH 5:1 SLOPES WILL BE PERMITTED.  
 4. MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY.  
 5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.  
 7. REFER TO SWPPP, SECTION 1 FOR NYS STANDARDS AND SPECIFICATIONS FOR STABILIZED CONSTRUCTION ENTRANCE.



NOTES:  
 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.  
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED 24" AT TOP AND MID SECTION.  
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6X (6) INCHES AND FOLDED.  
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. FENCING SHALL BE INSPECTED MONTHLY, AND FOLLOWING MAJOR RAINFALLS.  
 5. THE FOLLOWING MATERIALS SHALL BE USED FOR CONSTRUCTION OF THE SILT FENCE:  
 POSTS: STEEL EITHER "1" OR "1 1/2" TYPE OR "1" HARDWOOD FENCE: WOVEN WIRE 14-1/2 GA. 6" MAX. MESH OPENING. FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.  
 6. REFER TO SWPPP, SECTION 1 FOR NYS STANDARDS & SPECIFICATIONS FOR SILT FENCE.  
 PREFABRICATED UNTIL, GEOPAB, ENVIROFENCE, OR APPROVED EQUAL.

**SECTION 2 CONSTRUCTION ENTRANCE (MUDRACK)**  
 NOT TO SCALE 31-1001-04

**SECTION 1 SILT FENCE (SF)**  
 NOT TO SCALE 31-1001-01



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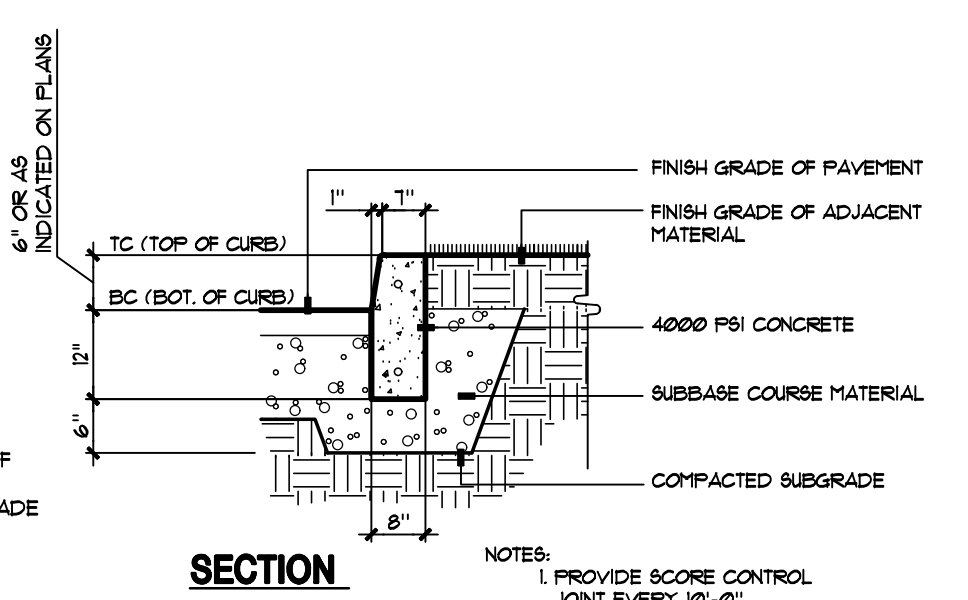
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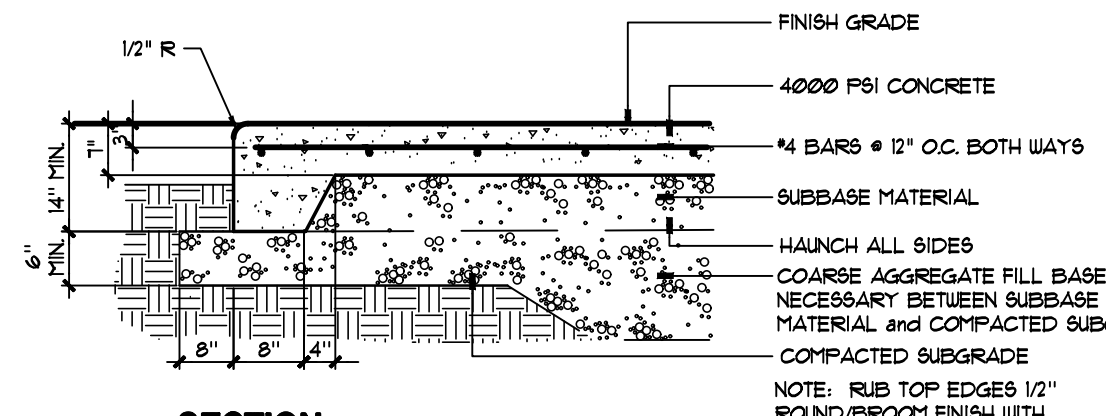
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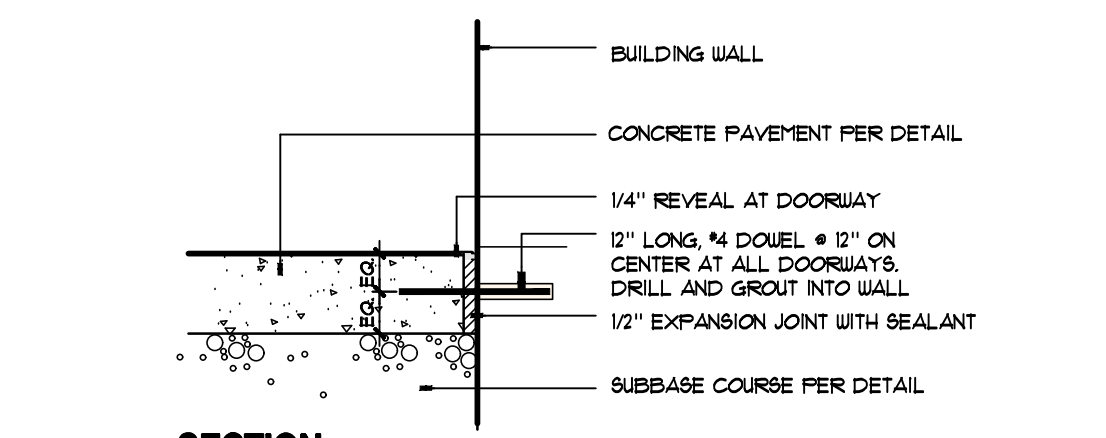
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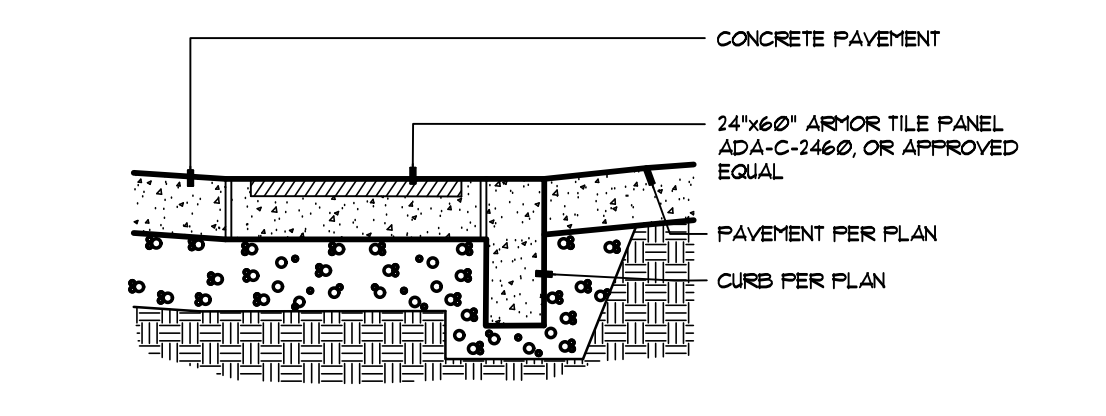
5 CONCRETE CURB NOT TO SCALE 32-1918-04D



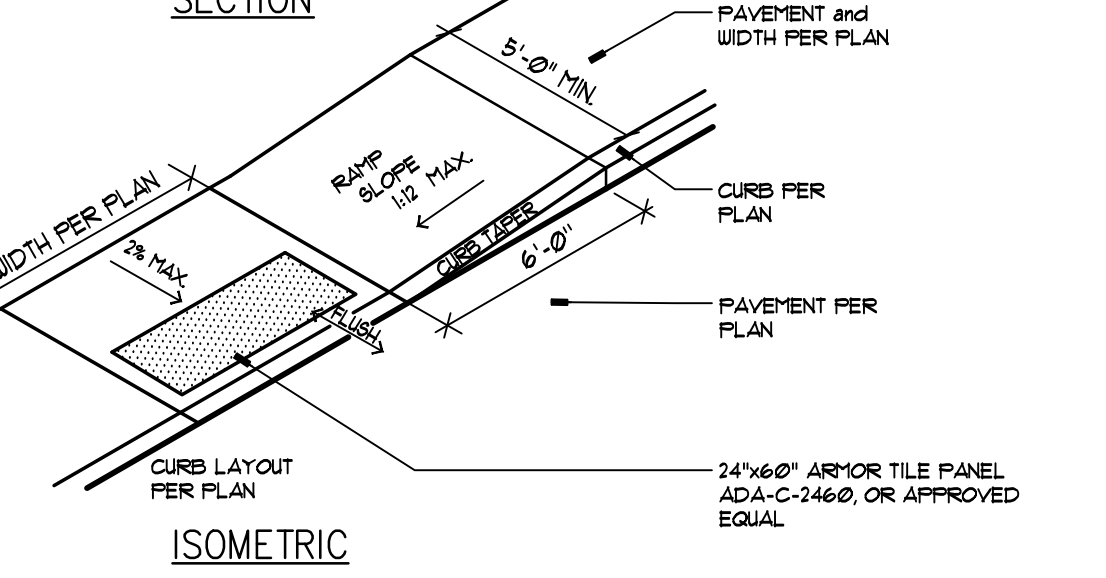
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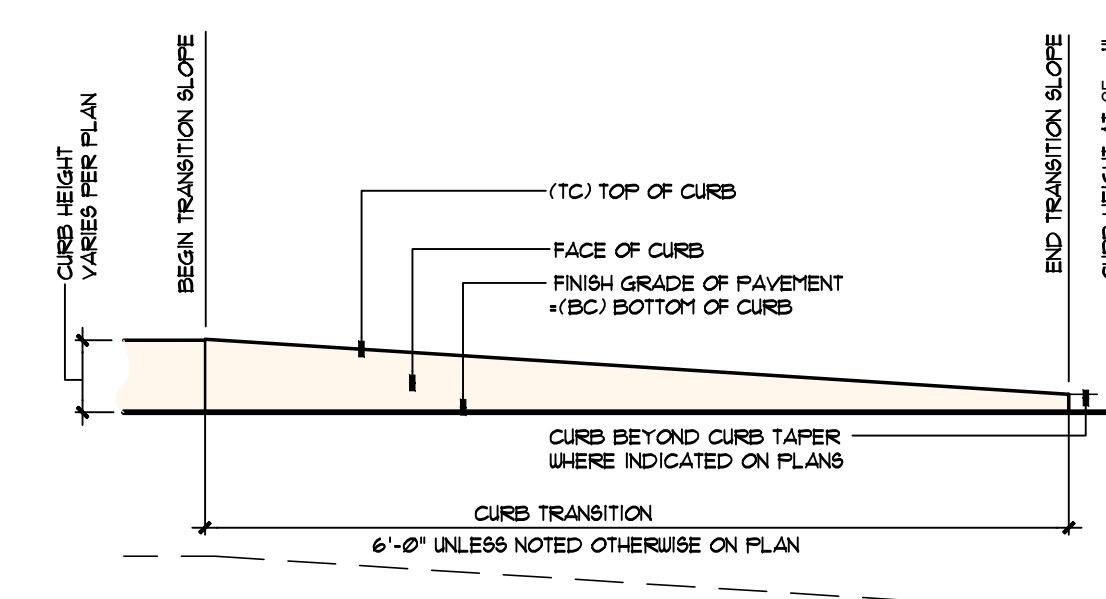
9 CONCRETE DOWELING @ BUILDING NOT TO SCALE 32-1918-10



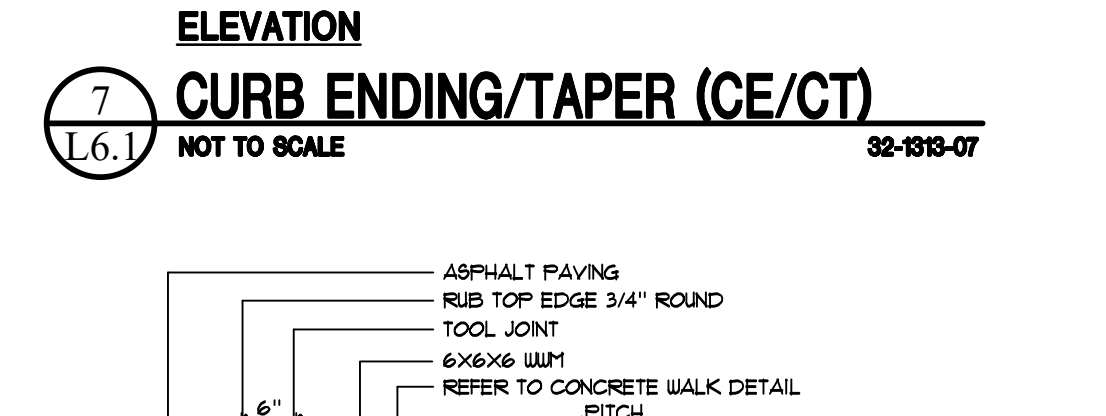
4 CONCRETE JOINT DETAILS NOT TO SCALE 32-1918-04



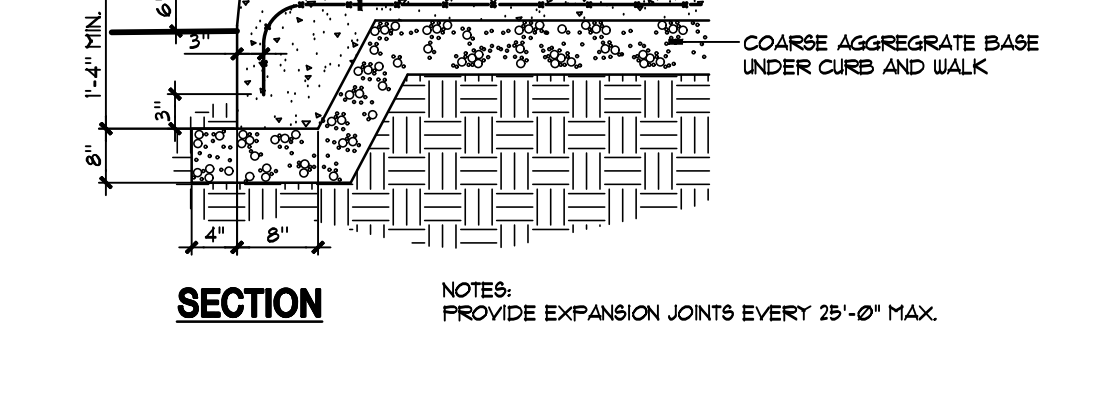
8 ACCESSIBLE RAMP - TYPE 2 NOT TO SCALE 32-1313-09G



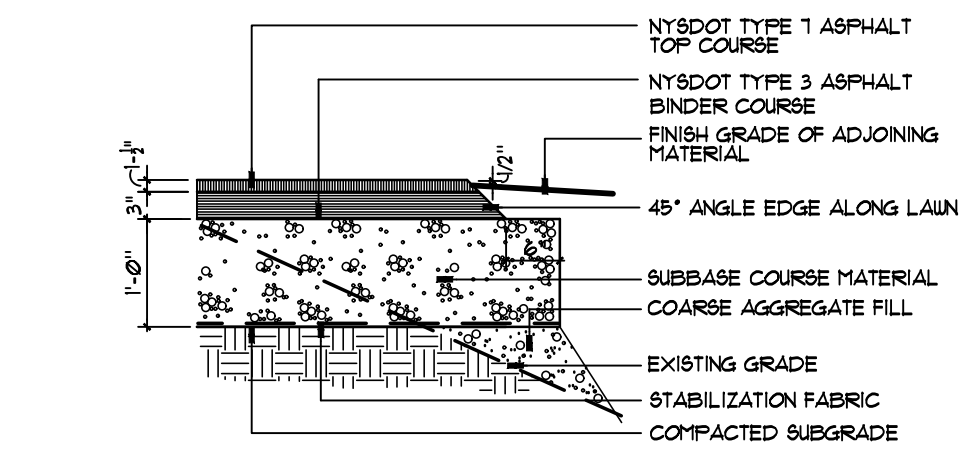
3 CONCRETE FINISH NOT TO SCALE 32-1918-03



7 CURB ENDING/TAPER (CE/CT) NOT TO SCALE 32-1918-07



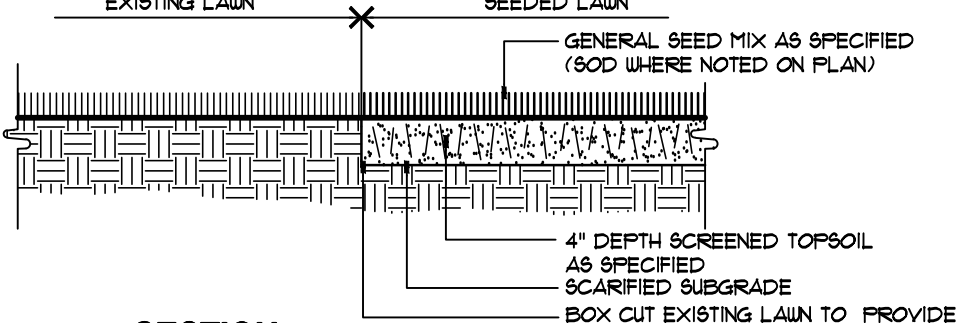
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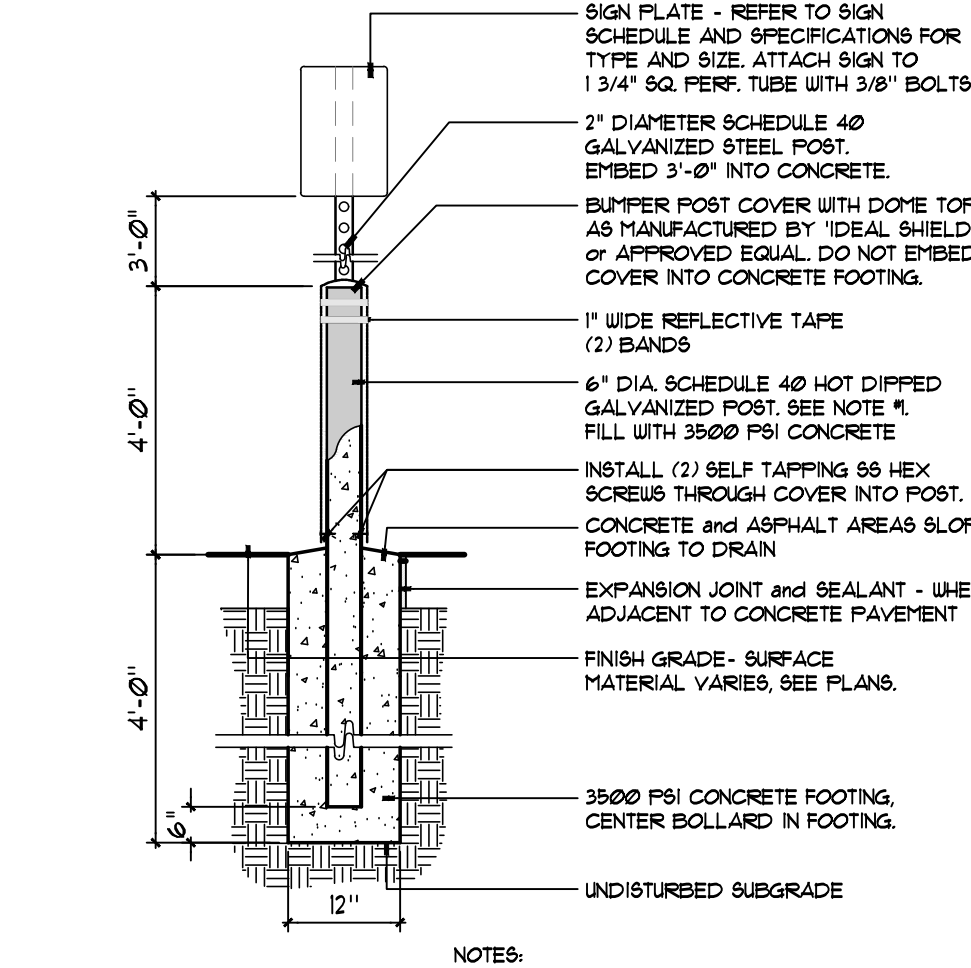
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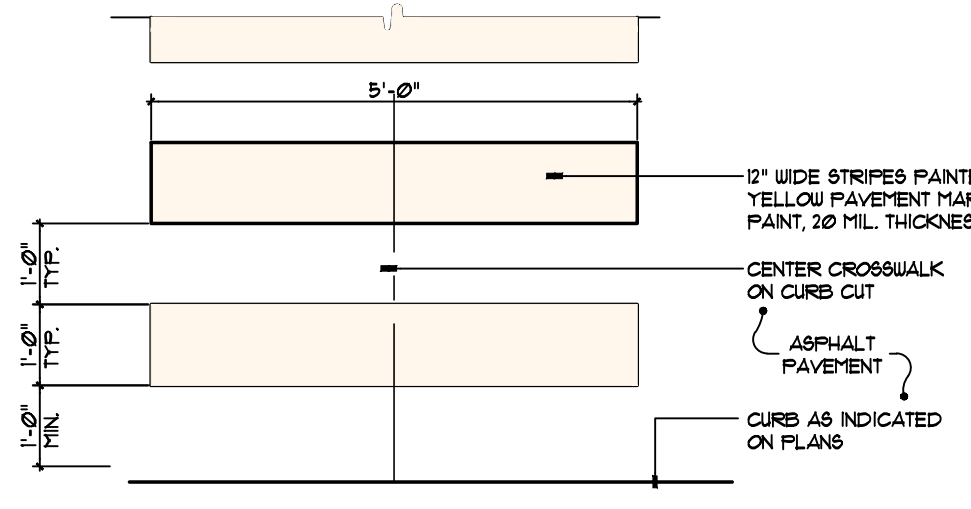
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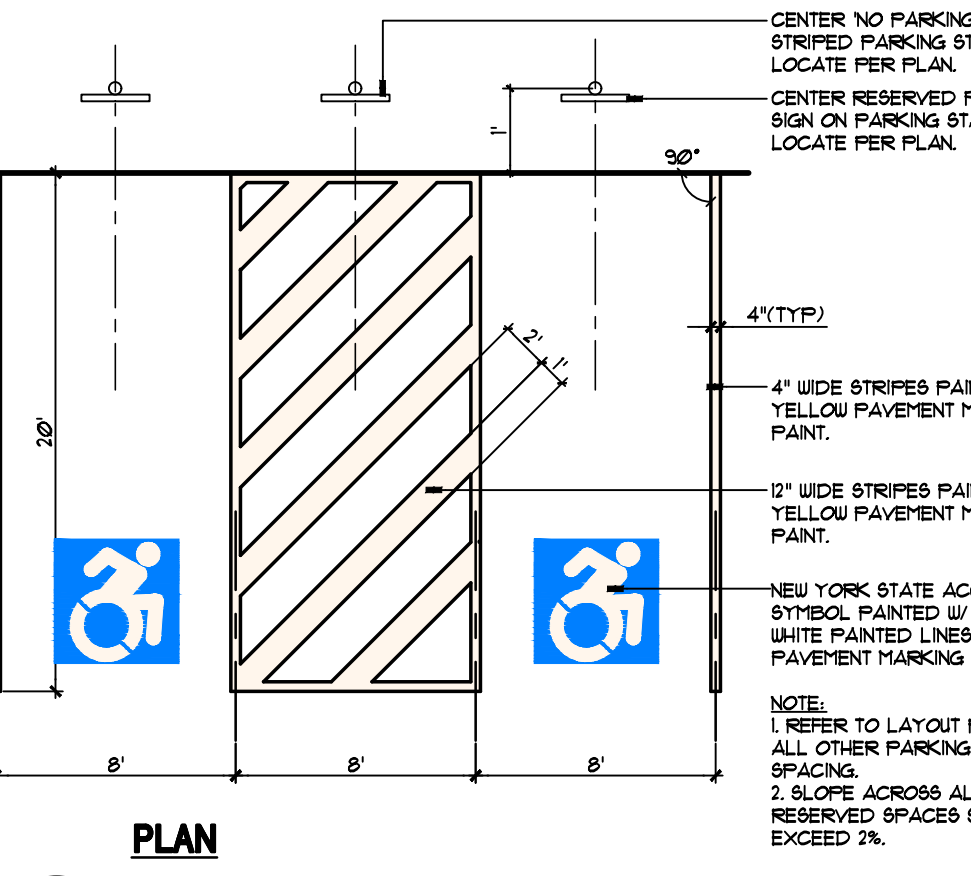
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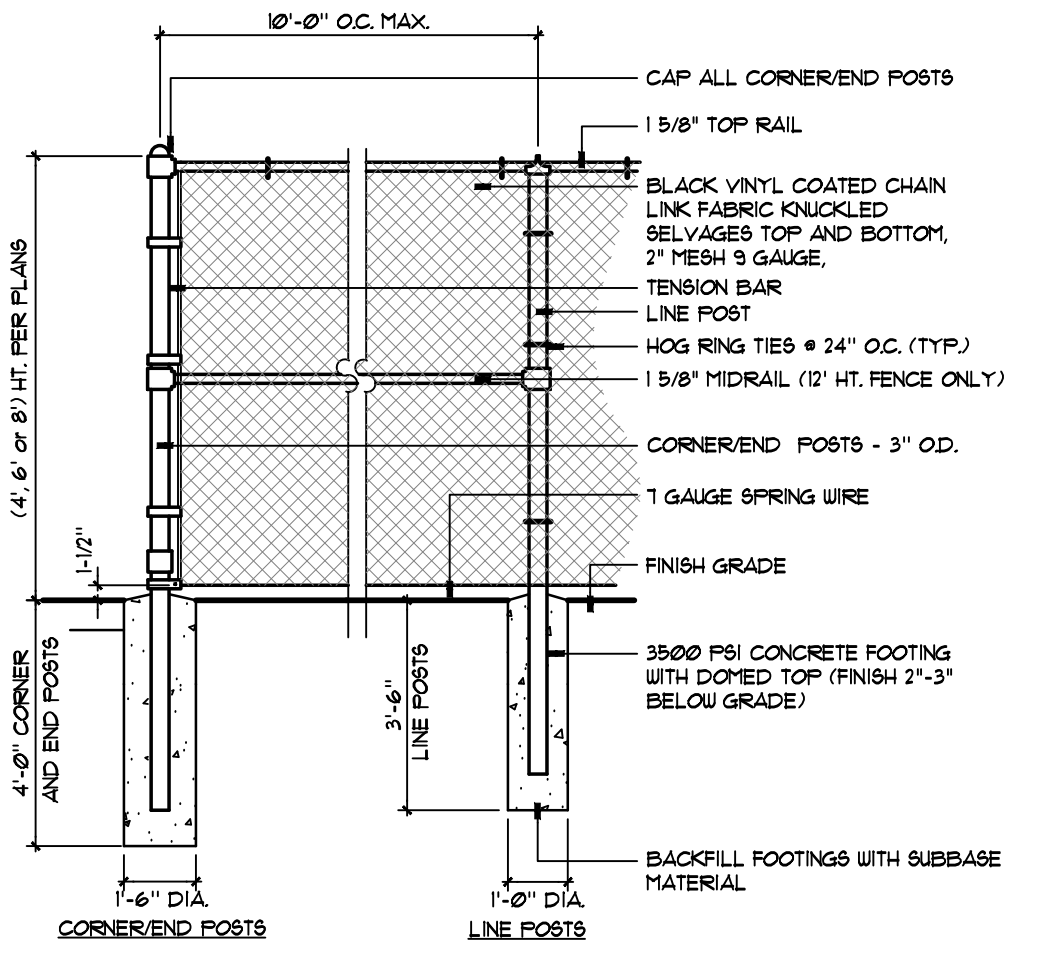
13 TRAFFIC SIGN - SET IN BOLLARD NOT TO SCALE 32-4000-02



12 PAINTED CROSSWALK NOT TO SCALE 32-1723-02

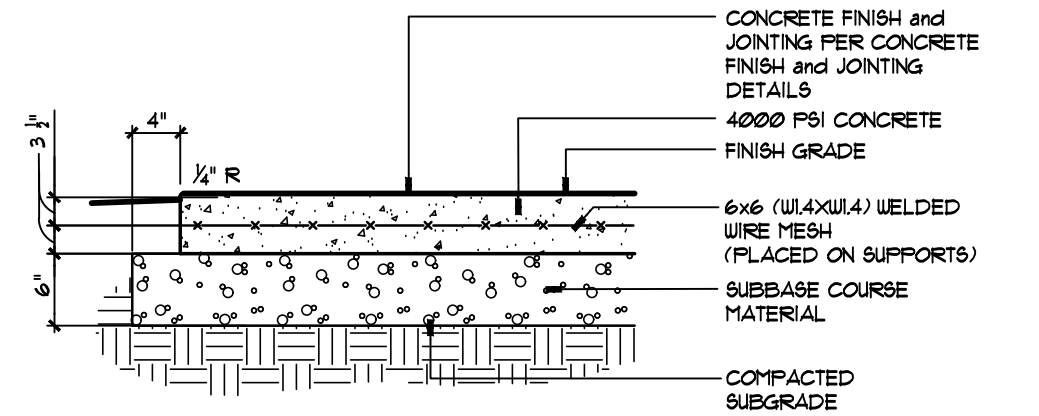


11 RESERVED PARKING STALL NOT TO SCALE 32-1723-01

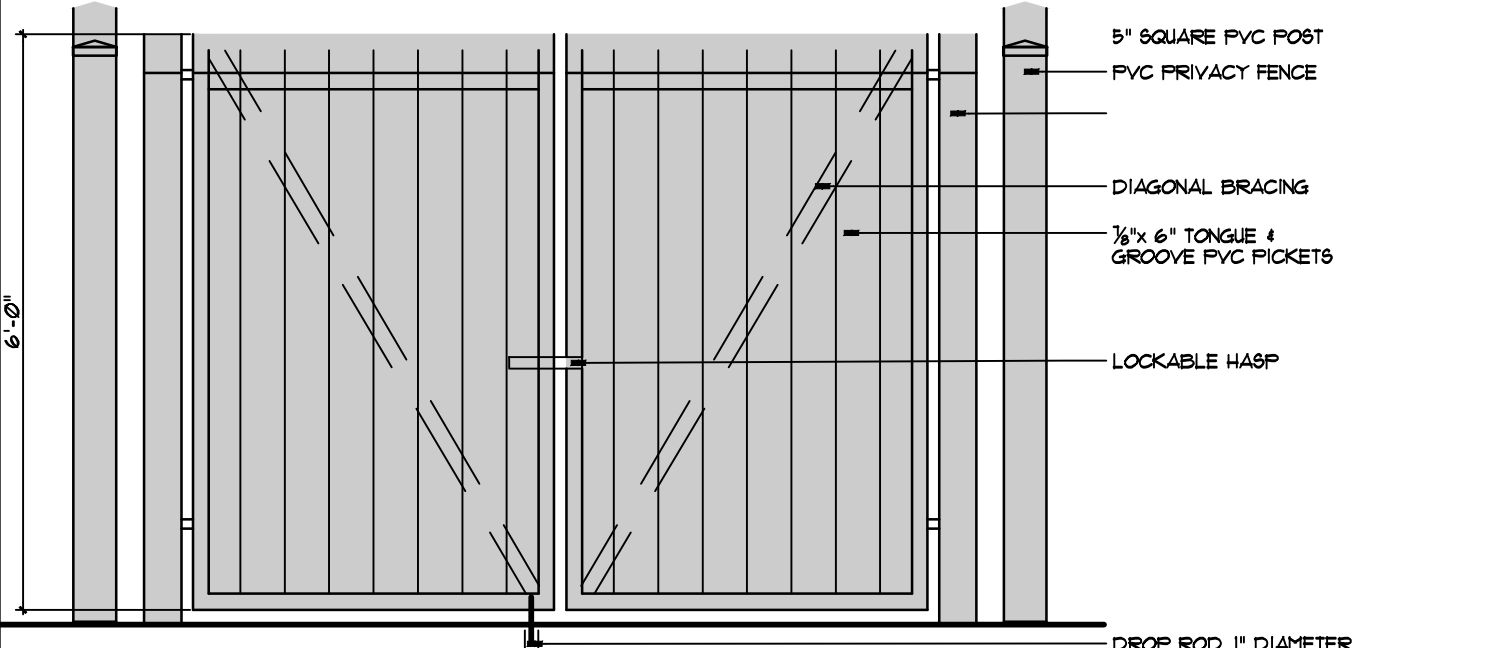


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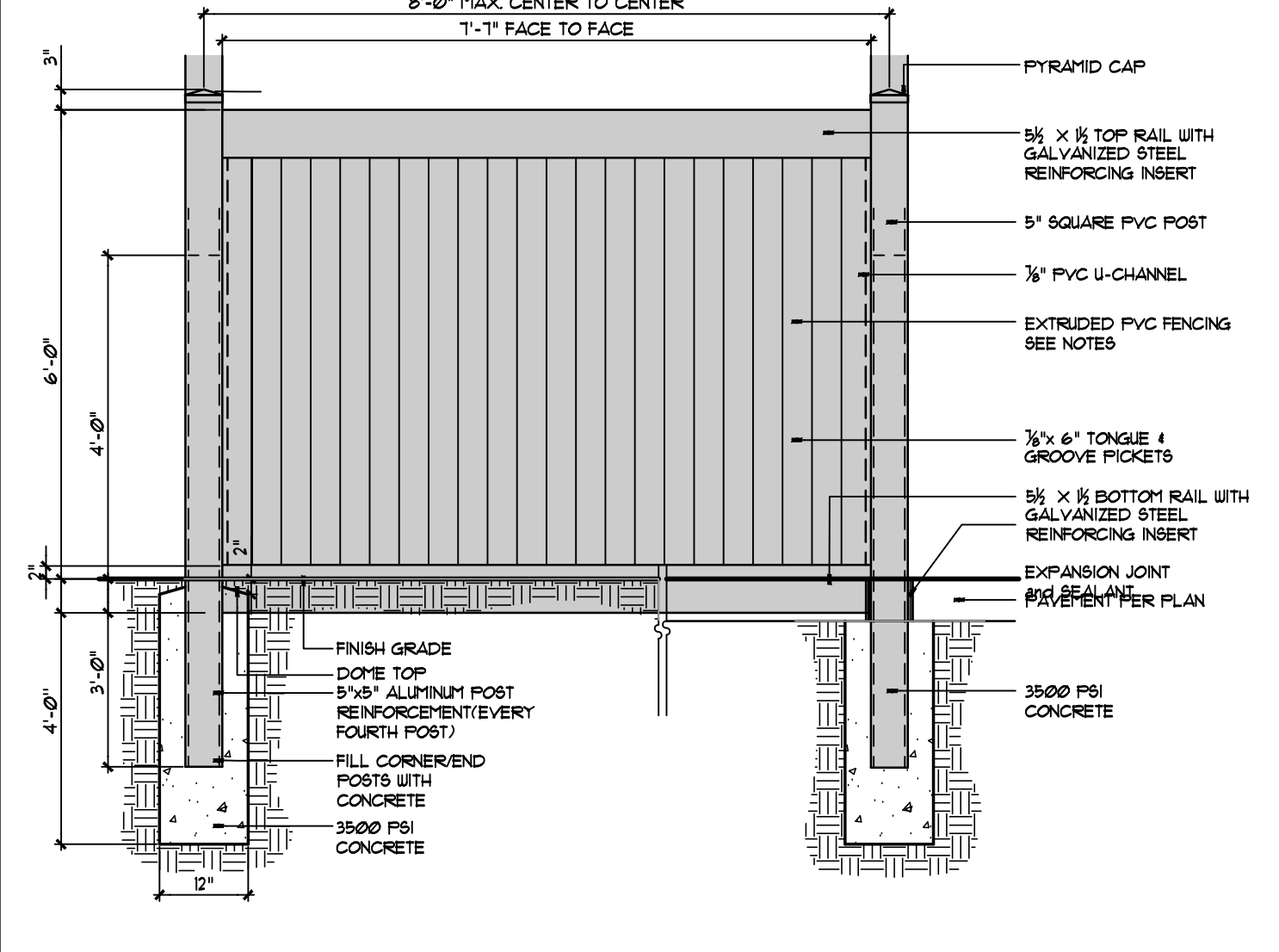
17 CHAIN LINK FENCE - VINYL CLAD NOT TO SCALE 32-3118-01B



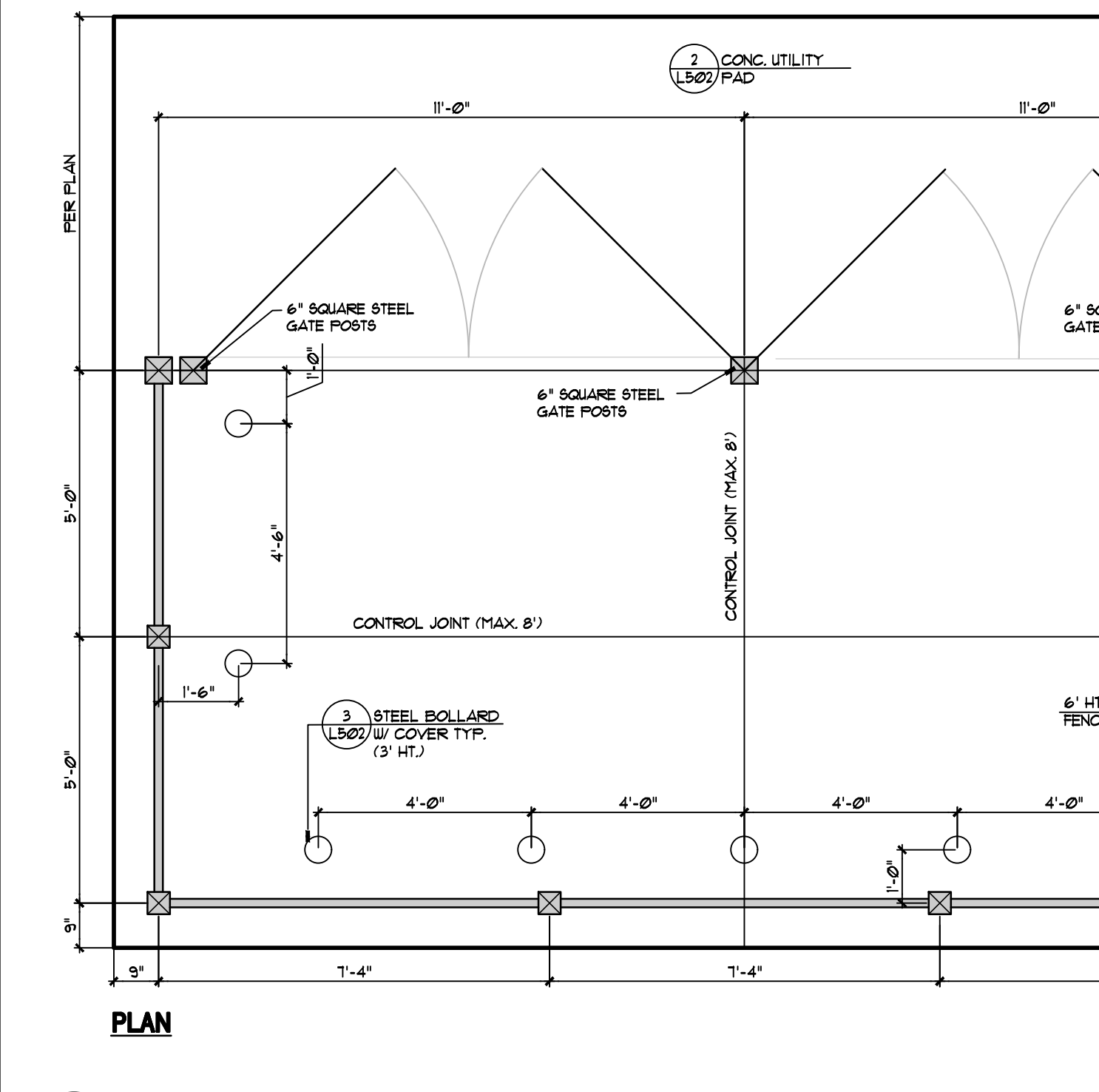
16 CONCRETE PAVEMENT - HEAVY DUTY NOT TO SCALE 32-1918-02B



ELEVATION - GATE



15 WASTE/RECYCLING ENCLOSURE - VINYL NOT TO SCALE 32-4001-02B



15 WASTE/RECYCLING ENCLOSURE - VINYL NOT TO SCALE 32-4001-02B

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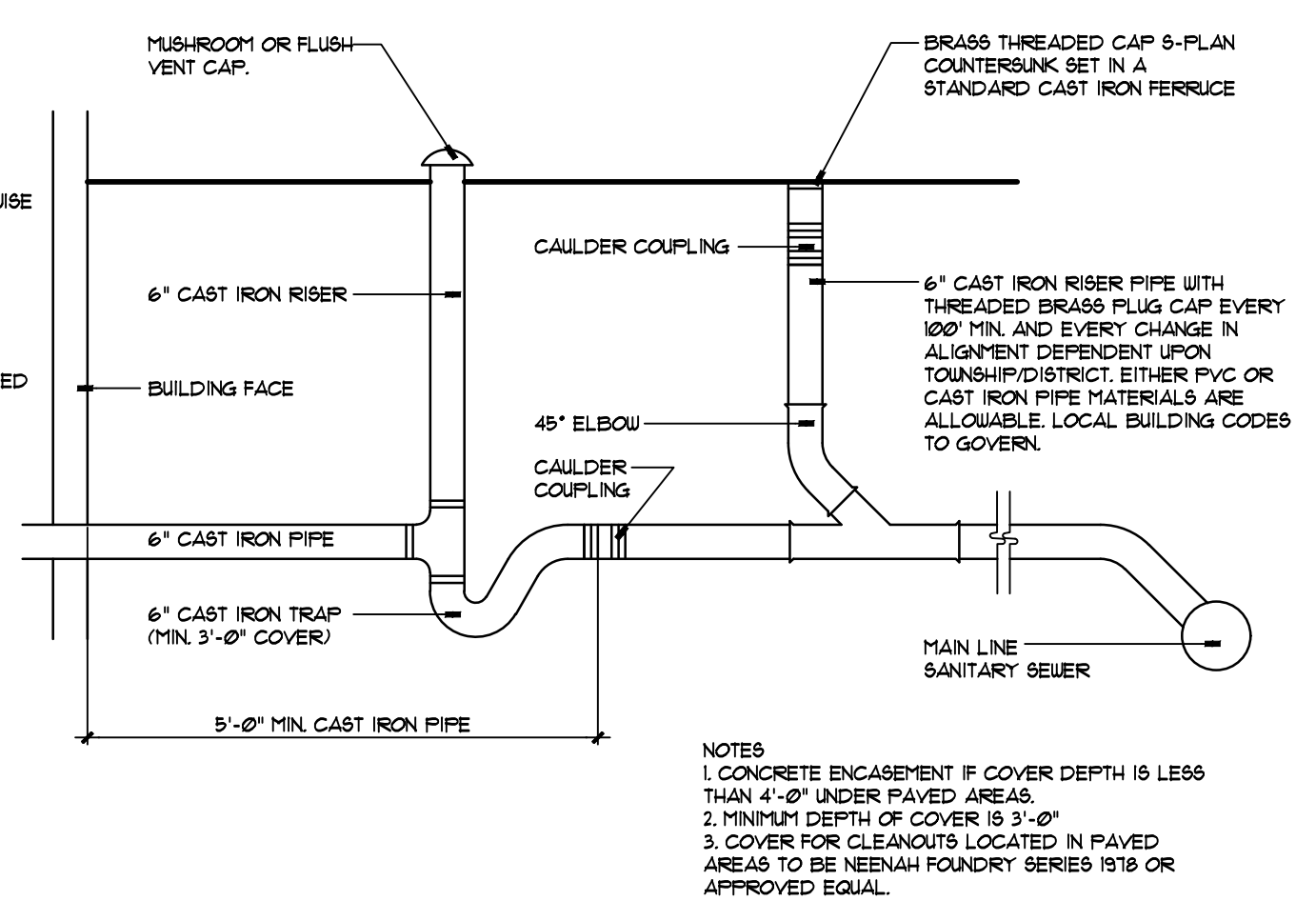
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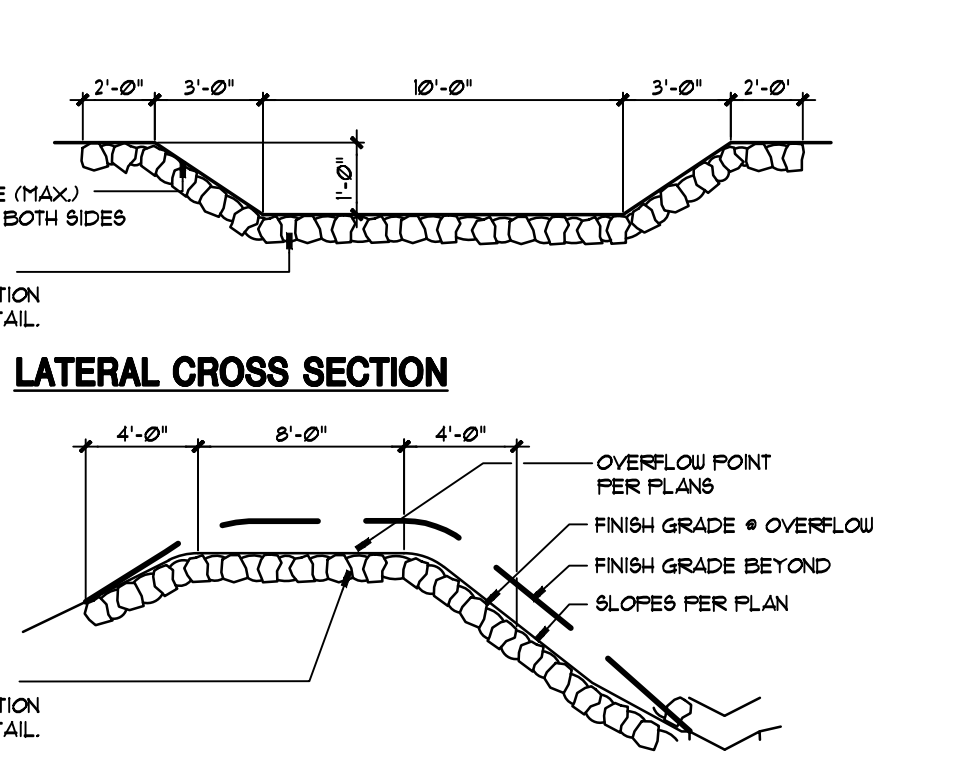
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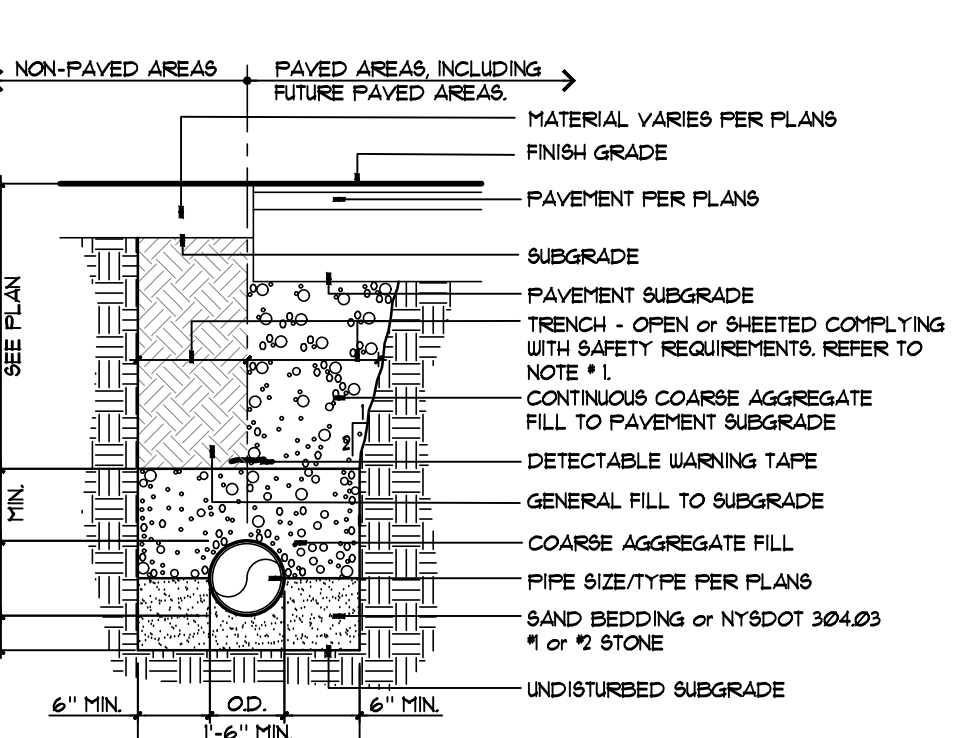
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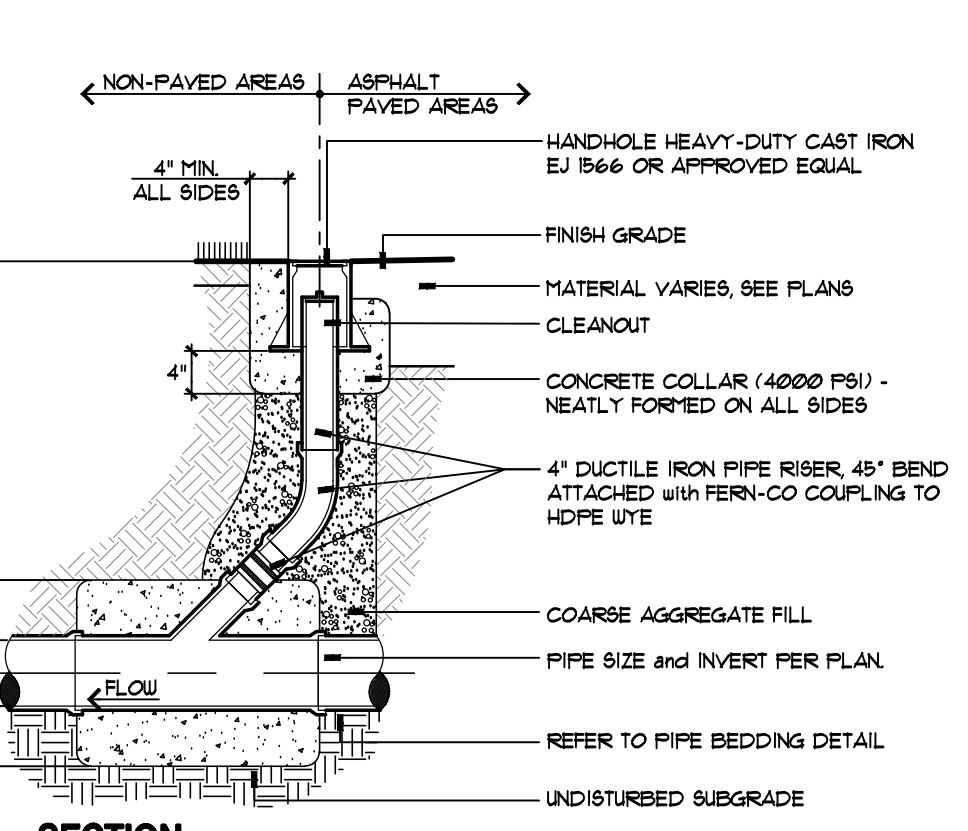
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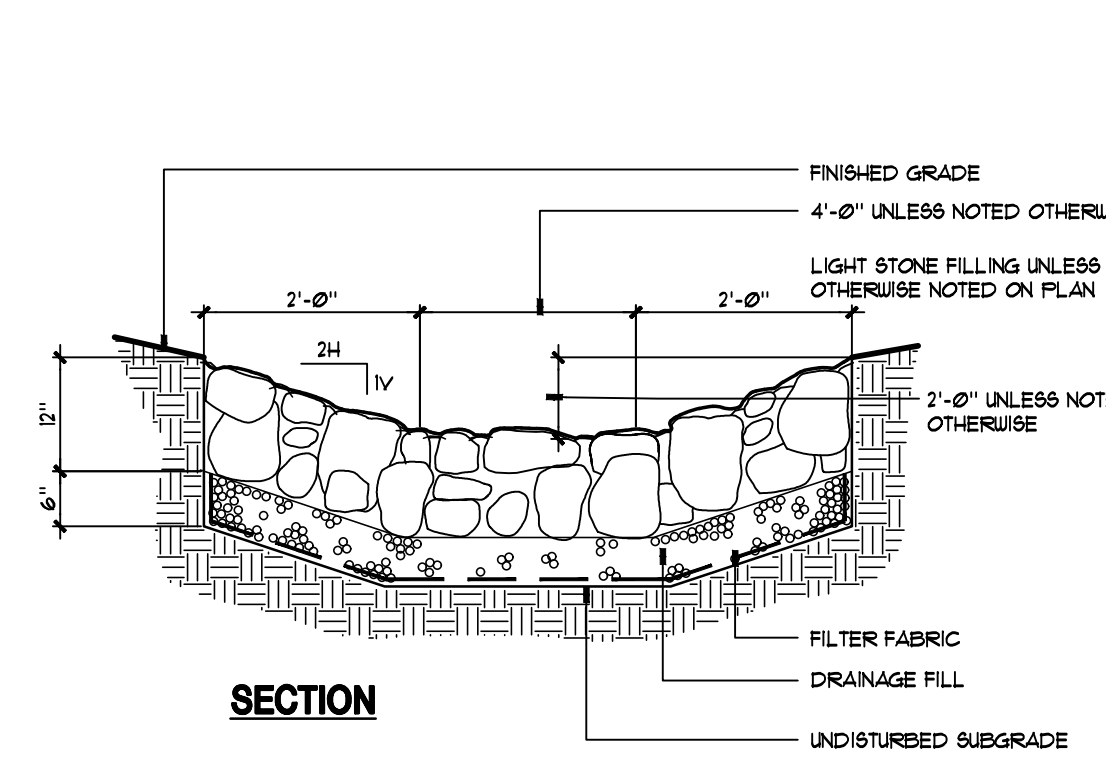
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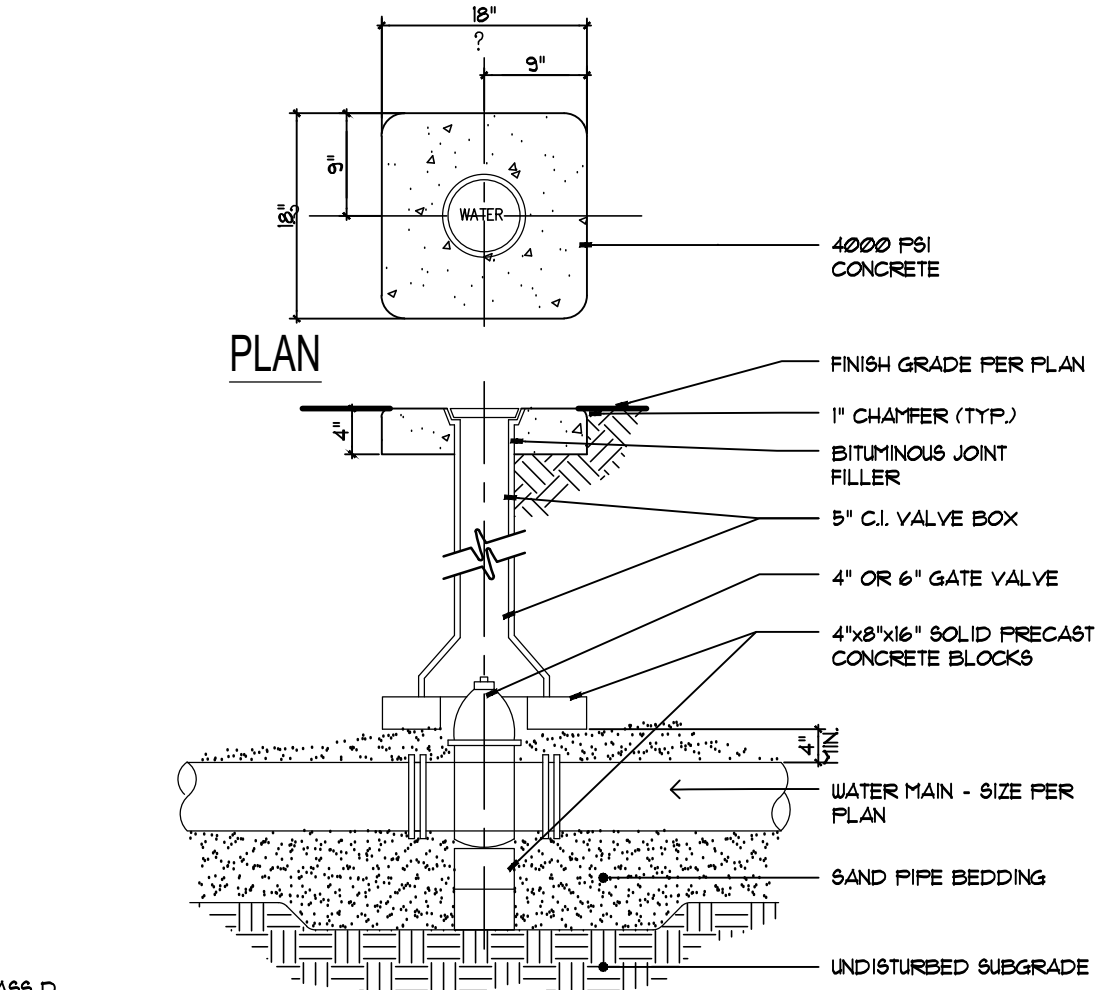
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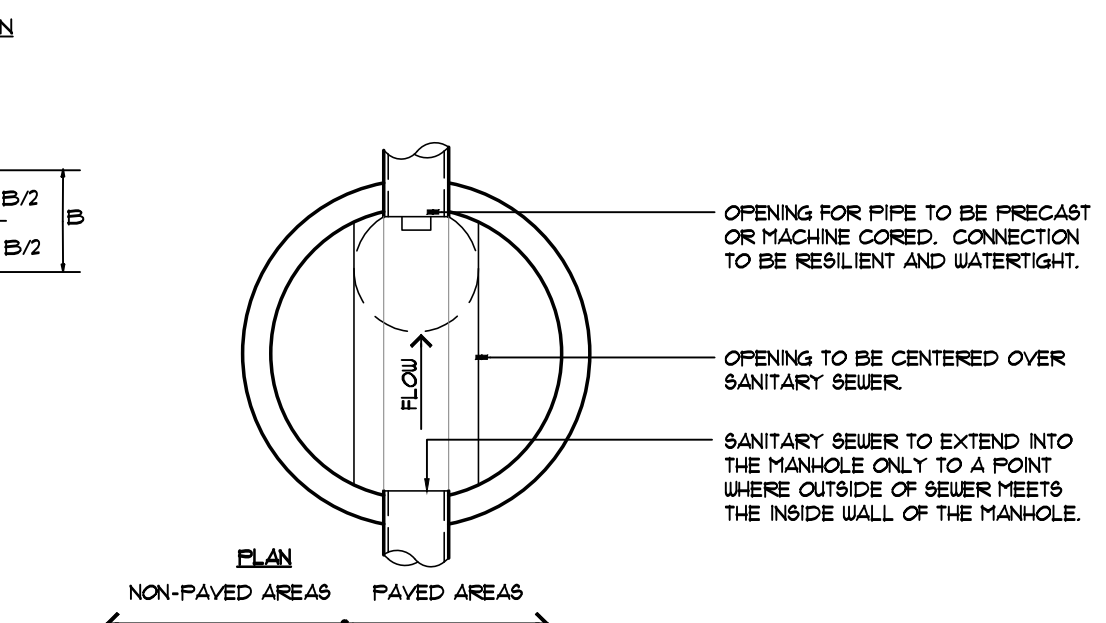
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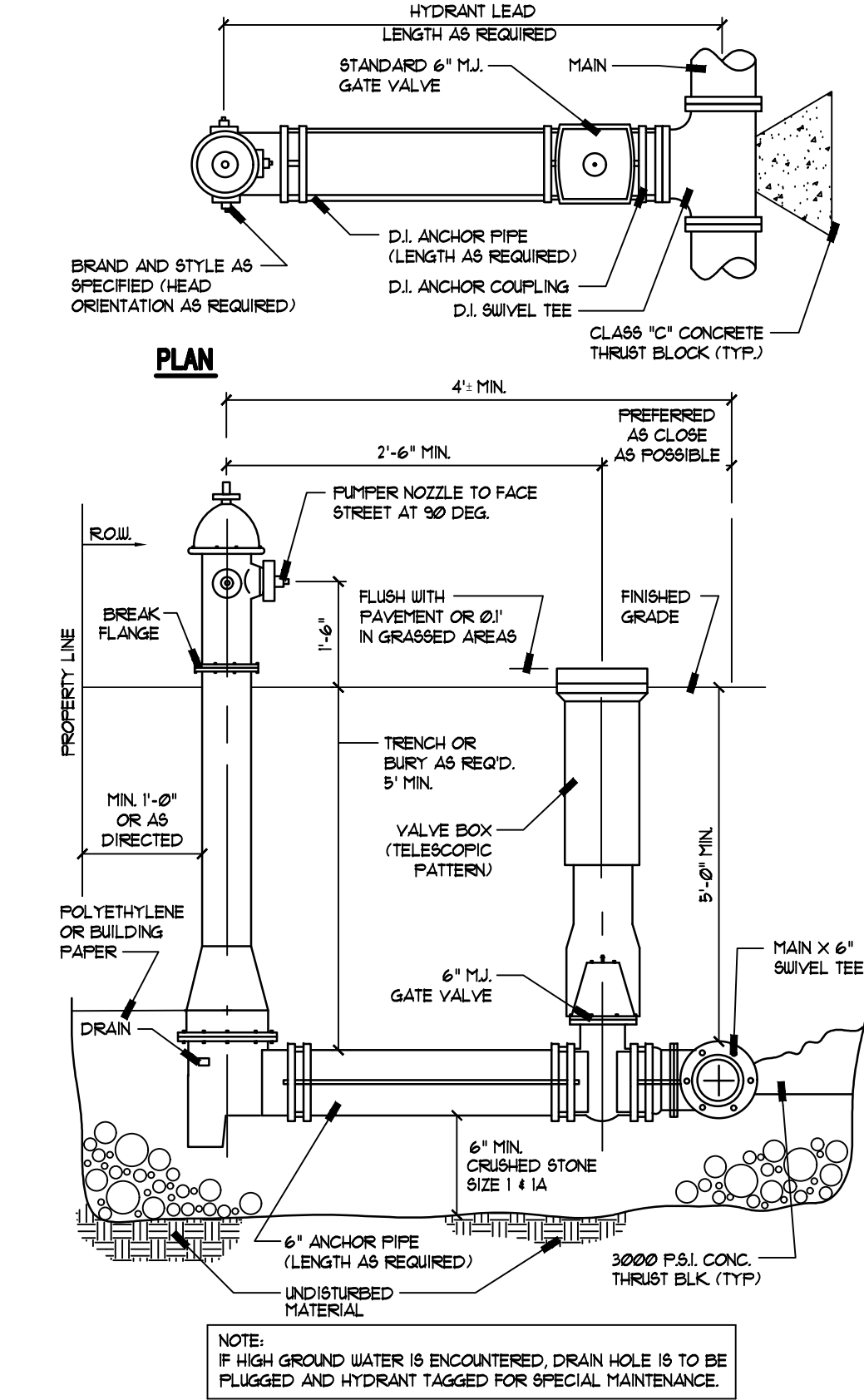
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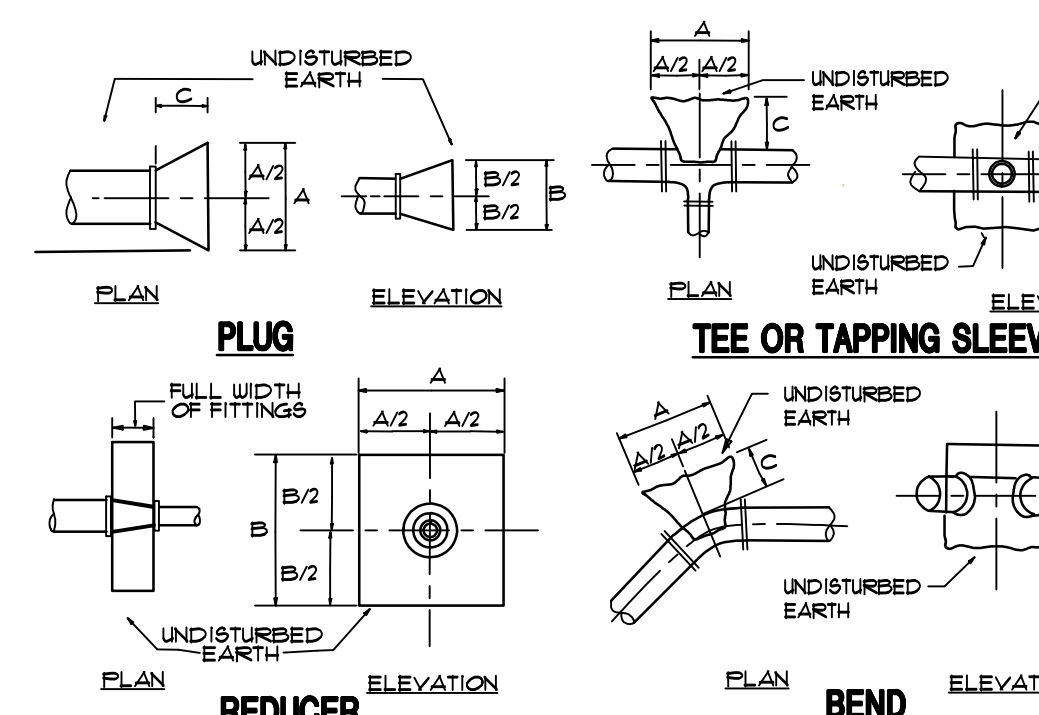
6 GATE VALVE (WV)  
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5 SANITARY MANHOLE  
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9 HYDRANT INSTALLATION DETAILS  
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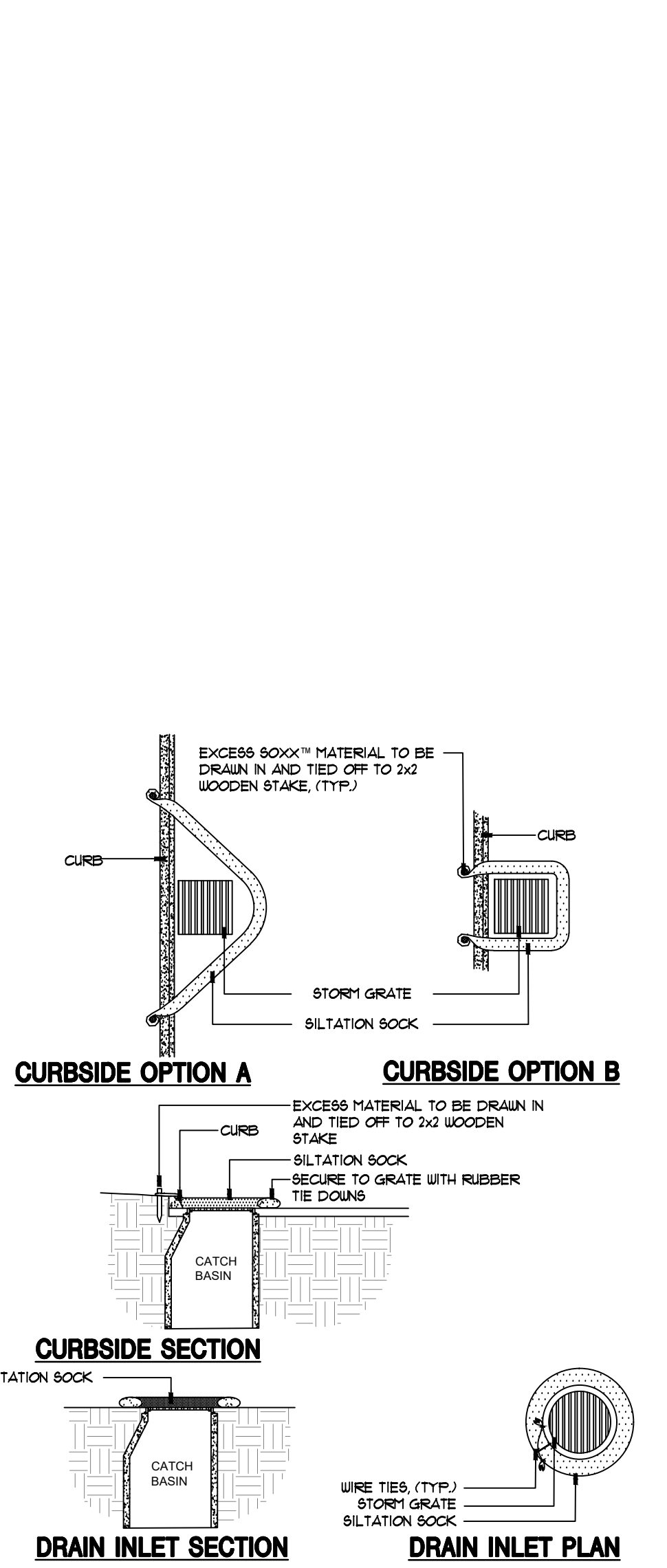


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NOT TO SCALE D2680-08

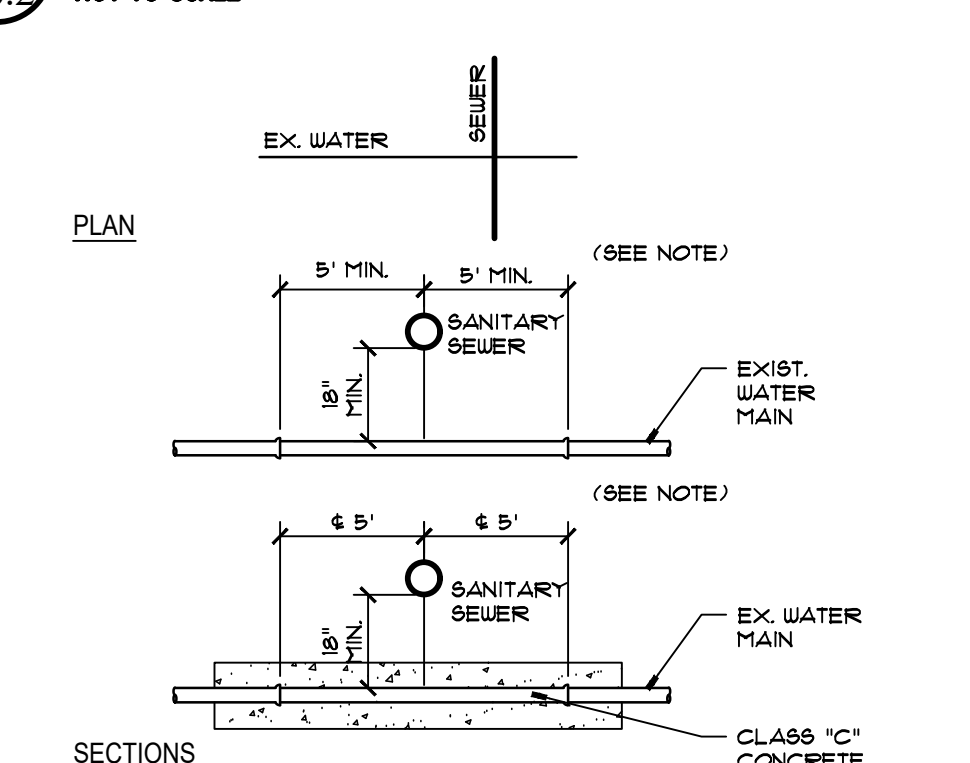
Table with columns: SIZE, 10", 8", 6", 4" or smaller. Rows: 90° BEND, 45° BEND, 22 1/2° BEND, 11 1/4° BEND, TEE TAPPING SLEEVE OR PLUG, REDUCER 2"x, 1 1/2"x, 1"x, 3/4"x.

THRUST BLOCK NOTES:  
1. FOR REQUIRED BEARING AREA DIMENSIONS A & B SEE TABLE. DIMENSIONS OF A & B OTHER THAN THOSE SHOWN IN THE TABLE MAY BE USED PROVIDED THEY YIELD A BEARING AREA EQUAL TO OR LARGER THAN THAT REQUIRED.  
2. CONCRETE NOT TO OVERLAP ANY JOINT.  
3. CONCRETE TO BE PLACED SO AS NOT TO INTERFERE WITH REMOVING OR INSTALLING ANY OF THE JOINTING HARDWARE.  
4. APPROXIMATE VOLUME OF CONCRETE THRUST BLOCK.  
V = LD (W + ID) - ID  
WHERE: V = VOLUME IN CUBIC YARDS  
L = LENGTH OF BLOCK IN FEET  
D = DEPTH OF BLOCK IN FEET  
W = WIDTH OF BLOCK IN FEET  
ID = INSIDE DIAMETER OF PIPE IN FEET  
5. VALUES FOR TEE ALSO APPLY TO END PLUGS, CAPS, AND TAPPING SLEEVES.  
6. REQUIRED BEARING AREAS ARE DUE TO THRUSTS CAUSED BY 150 PSI WORKING PRESSURE PLUS 50% (75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE. NOMINAL PIPE DIAMETER USED.  
7. REQUIRED BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 3000 LBS. PER SQUARE FOOT. IF POORER SOIL BEARING CONDITIONS ARE ENCOUNTERED, REQUIRED BEARING AREAS MAY BE MODIFIED BY THE ENGINEER.  
8. IN MUCK, PEAT, OR RECENTLY PLACED FILL, ALL THRUSTS SHALL BE RESISTED BY PILES OR TIE RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS, ALL AS REQUIRED BY THE ENGINEER.  
9. THRUST RESTRAINT FOR VERTICAL BENDS IN WATER PIPING SHALL BE PROVIDED BY MEANS OF RESTRAINED MECHANICAL JOINTS AND/OR RODDING TO ADJACENT PIPE JOINTS (WITH POLYURAP) METHOD TO BE APPROVED BY THE ENGINEER.

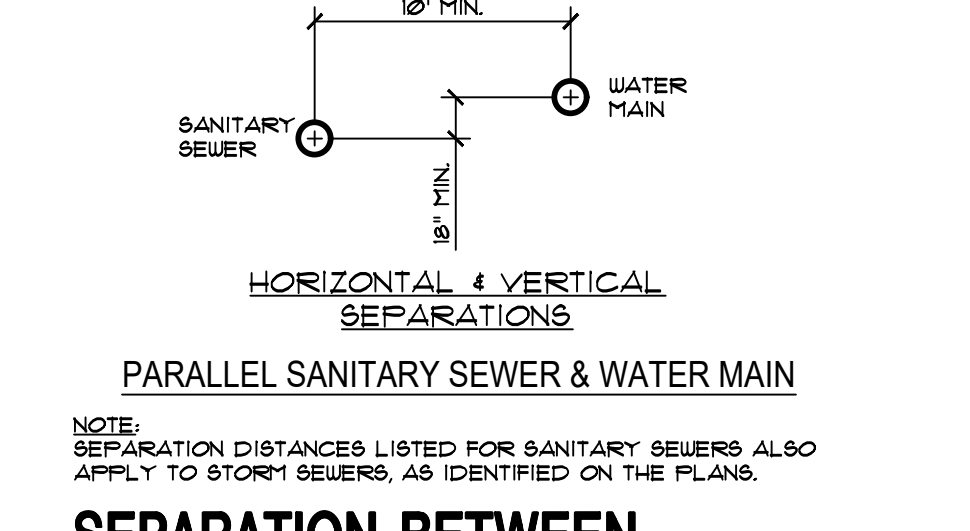
8 THRUST BLOCK DETAILS  
NOT TO SCALE D2680-08



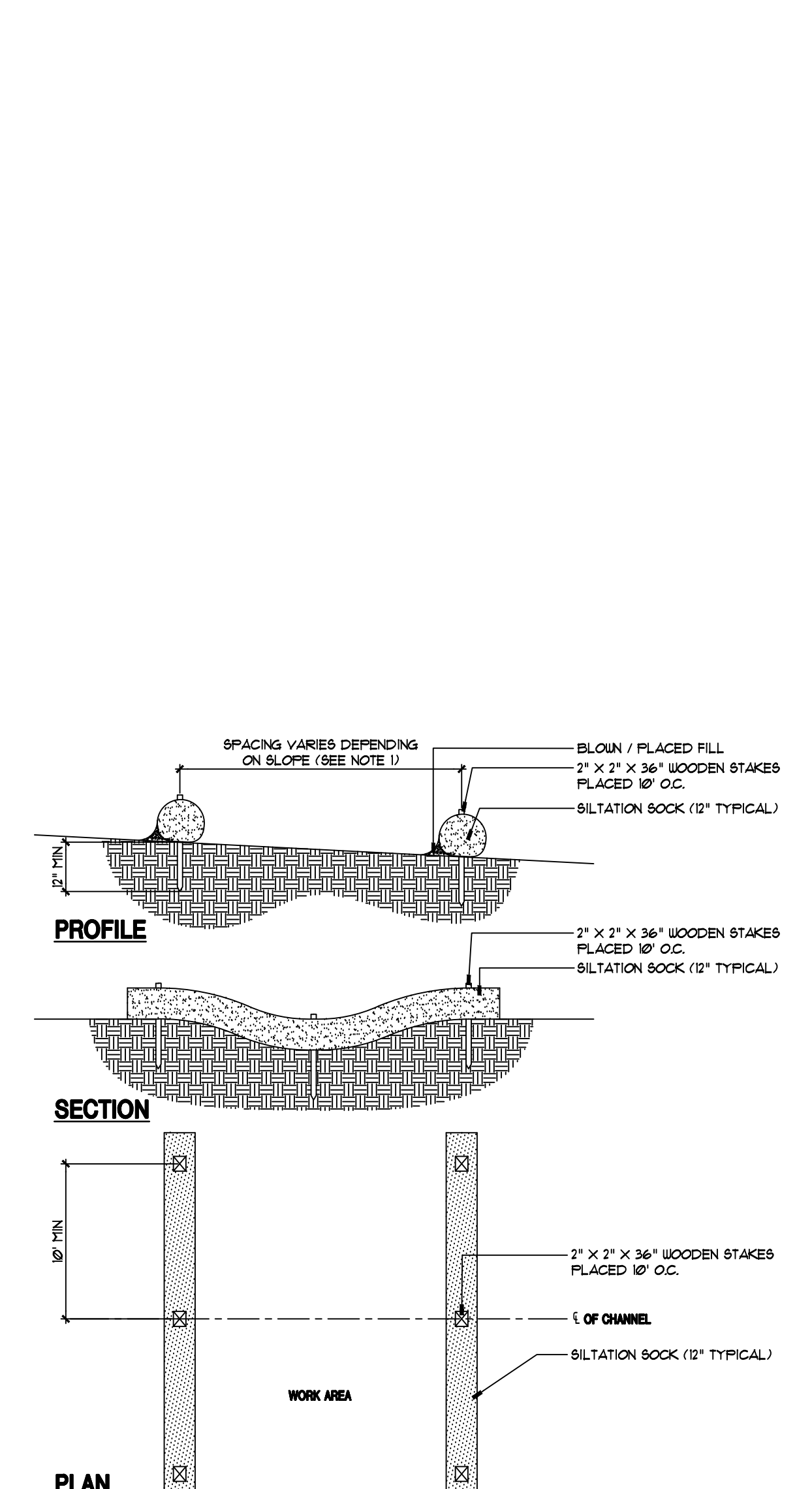
11 CURBSIDE SECTION  
NOT TO SCALE



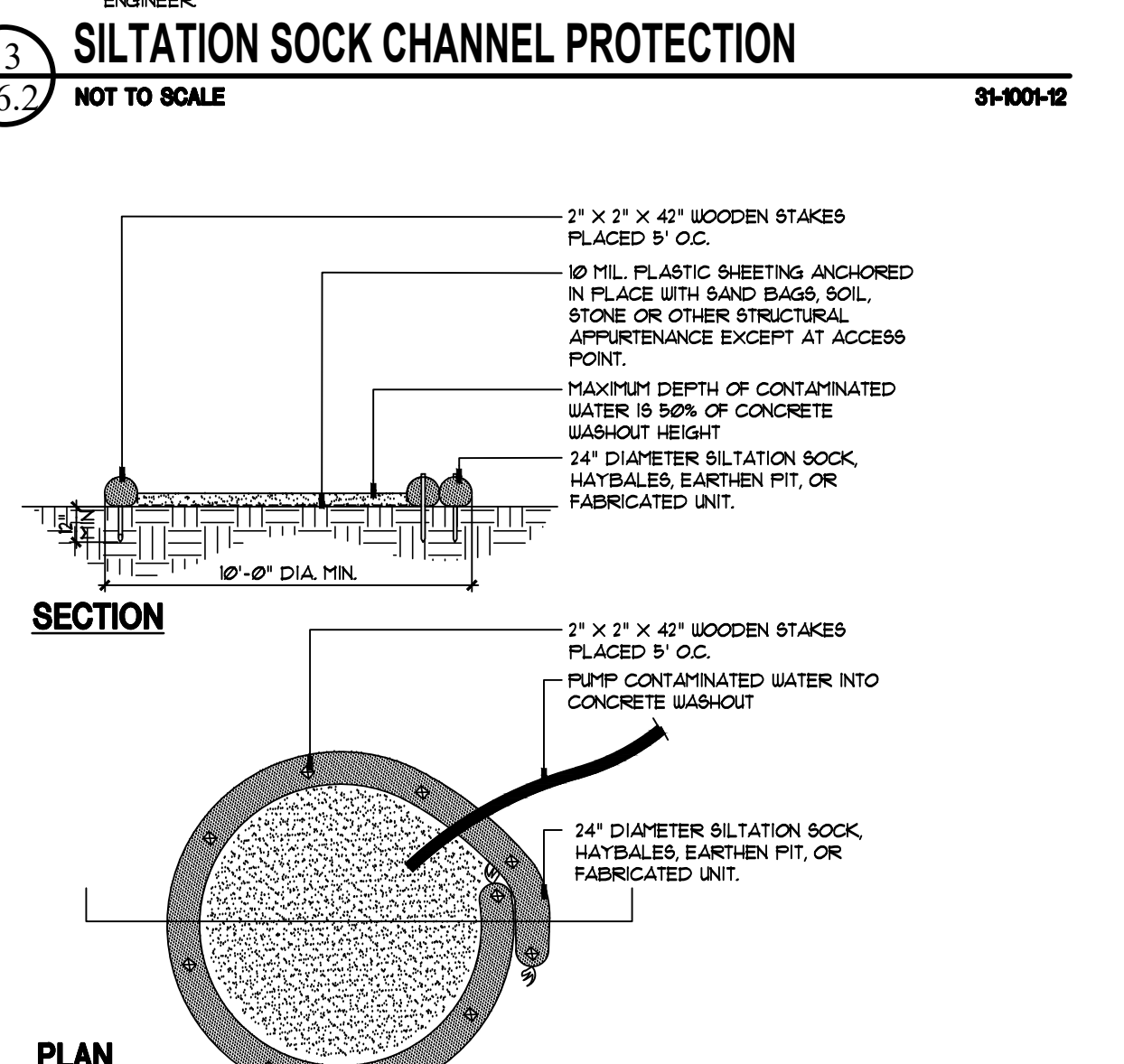
10 SANITARY SEWER & WATER MAIN CROSSING  
NOT TO SCALE D2680-07



10 SEPARATION BETWEEN SEWER AND WATER LINES  
NOT TO SCALE D2680-07



13 SILTATION SOCK CHANNEL PROTECTION  
NOT TO SCALE 31-001-12



12 CONCRETE WASHOUT  
NOT TO SCALE 31-001-10

DATE: 10/14/2022  
DRAWN BY: EK  
SCALE: SEE DRAWING

10/12/2022 S:\JOB NUMBER\2022\22050 - River Street - Housing\Schem\PLDT\SK1.1 FIRST FLOOR PLAN.dwg



**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

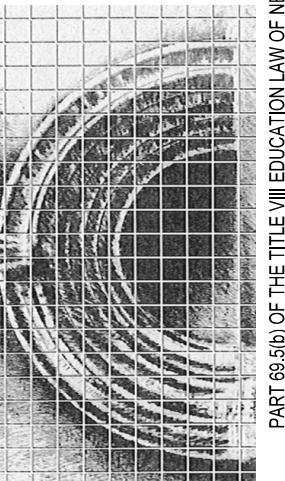
REV No.	DATE	DRAWN BY	DESCRIPTION

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	JOB NO: 22050
	DATE: 10-13-22
	DRAWN BY: XX
PROJECT NORTH	SCALE: 1/2" = 1'-0"

**RIVER STREET APARTMENTS**  
RIVER STREET, CORTLAND NEW YORK

**HOLMES ■ KING ■ KALLQUIST  
& Associates, Architects, LLP**  
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PH: (315) 476-8371 FAX: (315) 476-5420  
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FIRST FLOOR PLAN

**SK1.1**

FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0" A-1  
SK1.1

PART 69.80 OF THE TITLE VII EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERNING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 69.80.


10/12/2022 S:\JOB NUMBER\2022\22050 - River Street, Ct. Housing, Schem\PILOT\SK1.2 SECOND FLOOR PLAN.aec



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CONSTRUCTION**

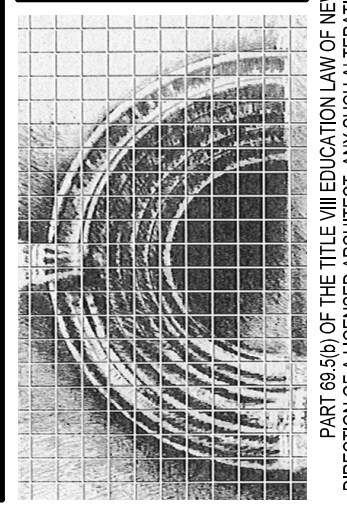
REV No.	DATE	DRAWN BY	DESCRIPTION

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 PROJECT NORTH
 
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 SCALE: 1/2" = 1'-0"

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SECOND FLOOR PLAN

**SK1.2**

SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0" (A-1) SK1.2




10/12/2022 5:10 PM S:\JOB\_NUMBERS\2022\22050 - River Street Str. Housing\_Schem\PILOT\_SK1.3 THIRD FLOOR PLAN.dwg



**PROGRESS SET  
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CONSTRUCTION**

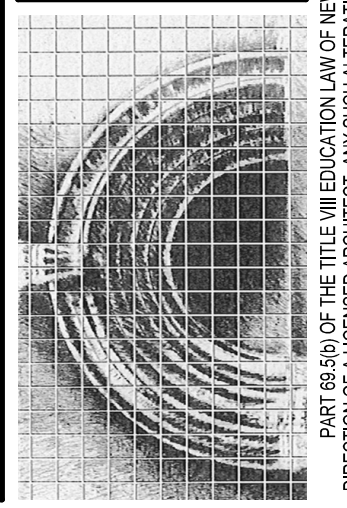
REV No.	DATE	DRAWN BY	DESCRIPTION

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 PROJECT NORTH
 
 JOB NO: 22050  
 DATE: 10-13-22  
 DRAWN BY: XX  
 SCALE: 1/2" = 1'-0"

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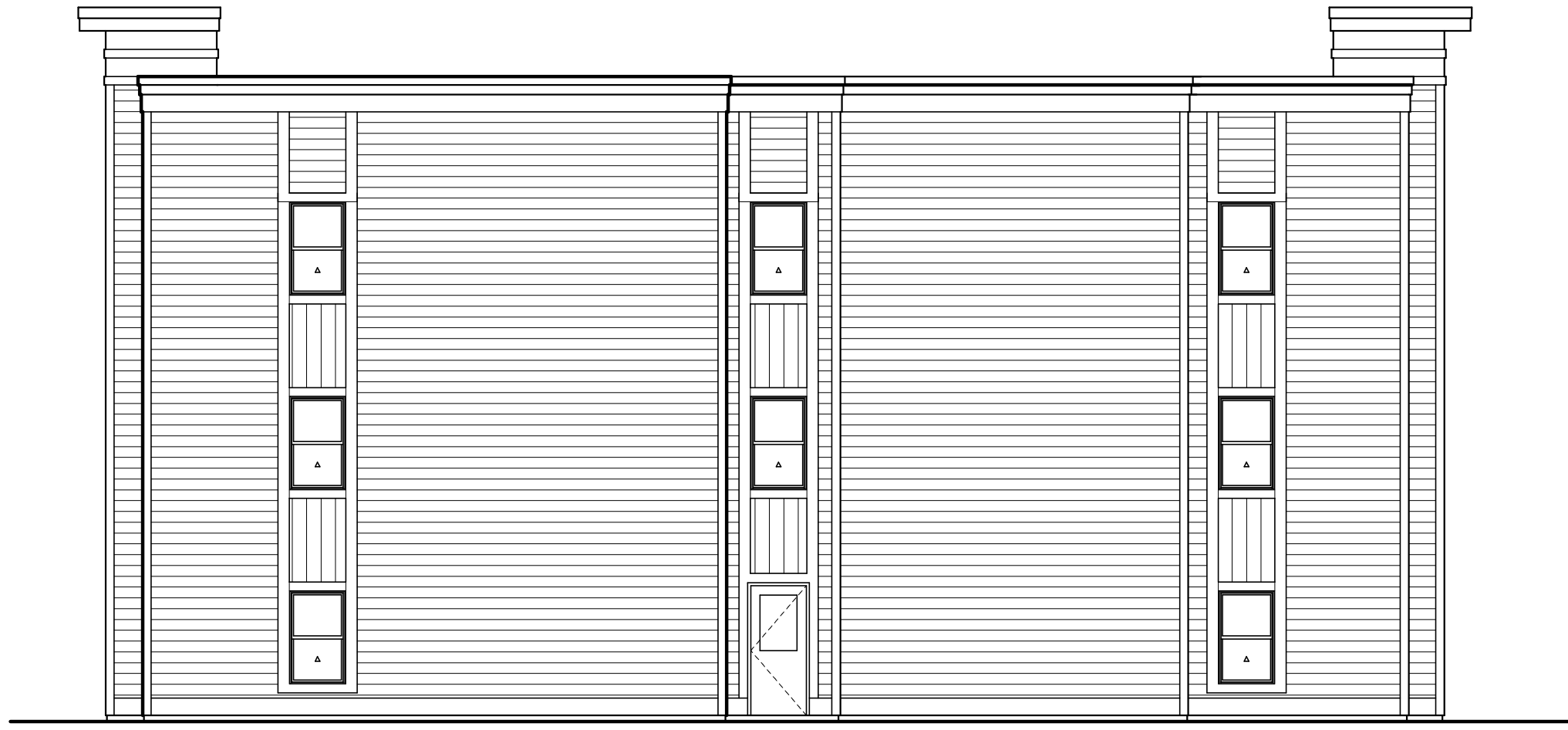


THIRD FLOOR PLAN

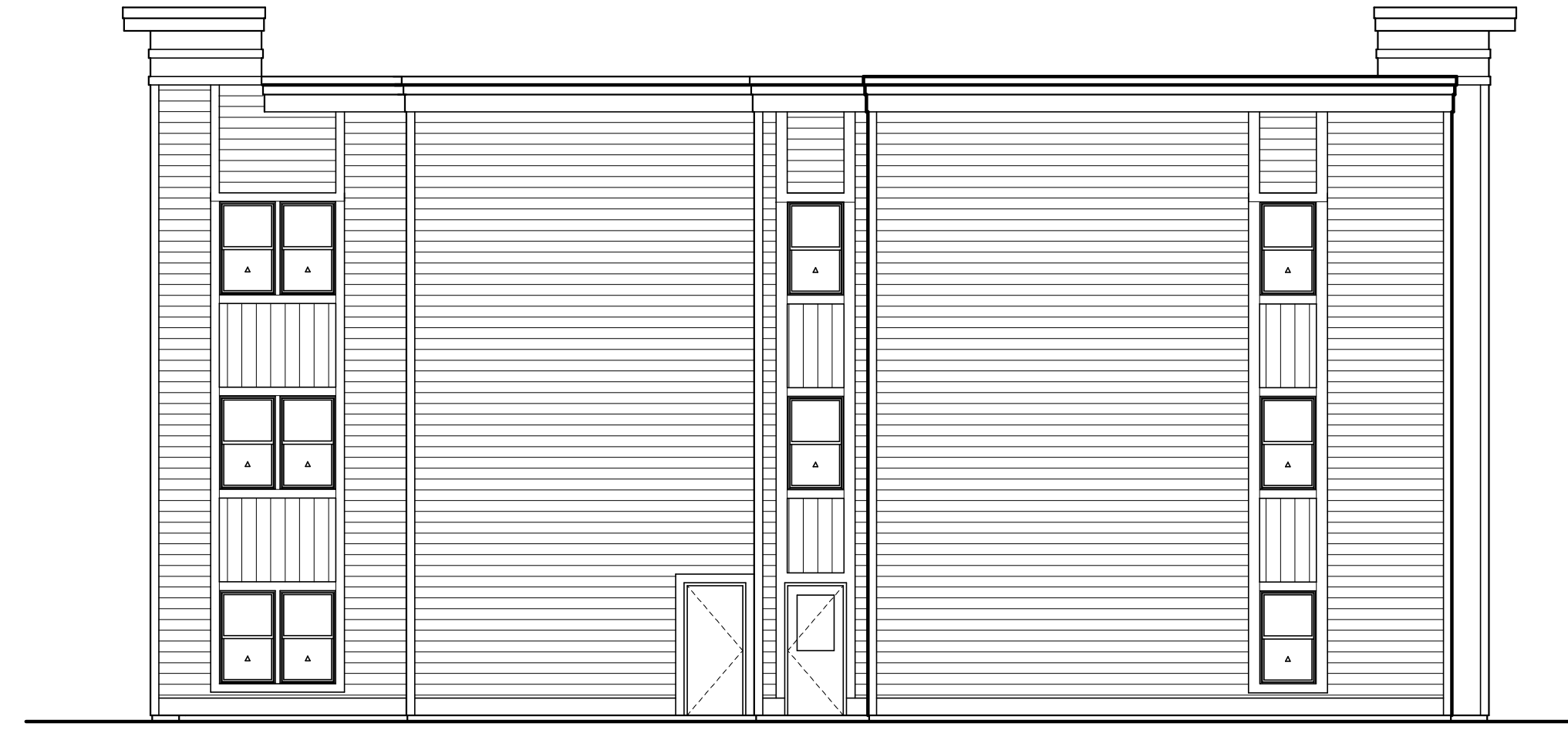
**SK1.3**

THIRD FLOOR PLAN  
SCALE: 3/32" = 1'-0" A-1  
SK1.3

10/12/2022 S:\JOB NUMBER 22050 - River Street Sr. Housing\Schem\PLOT\_SK2.1 Elevations.aec



EAST ELEVATION (C-2) SK2.1  
SCALE : 1/8" = 1'-0"



WEST ELEVATION (C-1) SK2.1  
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION - EAST WING (B-1) SK2.1  
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION - WEST WING (A-2) SK2.1  
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION (A-1) SK2.1  
SCALE : 1/8" = 1'-0"

**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

REV No.	DATE	DRAWN BY	DESCRIPTION

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JOB NO: 22050  
DATE: 10-13-22  
DRAWN BY: LAH  
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

**SK2.1**

10/12/2022 5:\JOB NUMBER 2022\22050 - River Street Sr. Housing\Schem\Plot\SK2.1 Elevations.aec



NORTH ELEVATION - EAST WING  
SCALE : 1/8" = 1'-0"  
(B-1)  
SK2.2



NORTH ELEVATION - WEST WING  
SCALE : 1/8" = 1'-0"  
(A-1)  
SK2.2

**PROGRESS SET  
NOT FOR  
CONSTRUCTION**

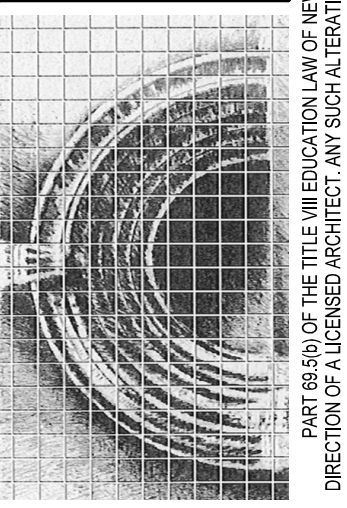
REV No.	DATE	DRAWN BY	DESCRIPTION

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EXTERIOR ELEVATIONS

**SK2.2**



# Finance Report

**Business Development Corporation**  
**Budget Summary**  
**October 31, 2022**

	<b>BUDGETED AMOUNT</b>	<b>EXPENDED YTD</b>	<b>AVAILABLE BALANCE</b>	<b>% BUDGET REMAINING</b>
<b>Personnel:</b>				
Executive Director Salary	122,101.00	103,316.18	18,784.82	15.38%
Econ. Dev. Specialist Salary	90,354.00	76,453.30	13,900.70	15.38%
Community Relations Salary	68,510.00	57,970.00	10,540.00	15.38%
Employee Benefits	37,800.00	35,909.56	1,890.44	5.00%
DB/PFL Insurance	50.00	-194.22	244.22	488.44%
FICA	22,350.00	18,486.92	3,863.08	17.28%
FUTA	126.00	126.41	-0.41	-0.33%
SUI	800.00	840.20	-40.20	-5.03%
Retirement	28,097.00	19,162.83	8,934.17	31.80%
Workers C Insurance	1,200.00	699.18	500.82	41.74%
<b>TOTAL PERSONNEL</b>	<b>371,388.00</b>	<b>312,770.36</b>	<b>58,617.64</b>	<b>15.78%</b>
<b>Insurances:</b>				
Directors Liability	1,250.00	1,089.94	160.06	12.80%
Business Property	600.00	438.58	161.42	26.90%
<b>TOTAL INSURANCES</b>	<b>1,850.00</b>	<b>1,528.52</b>	<b>321.48</b>	<b>17.38%</b>
<b>Contractual:</b>				
Audit	7,000.00	6,200.00	800.00	11.43%
Charities Bureau	275.00	250.00	25.00	9.09%
401K Admin/5500	600.00	600.00	0.00	0.00%
Legal	6,000.00	2,156.84	3,843.16	64.05%
<b>TOTAL CONTRACTUAL</b>	<b>13,875.00</b>	<b>9,206.84</b>	<b>4,668.16</b>	<b>33.64%</b>
<b>Office:</b>				
Rent	28,200.00	20,700.00	7,500.00	26.60%
Sublet Rent	22,800.00	21,800.00	1,000.00	4.39%
Internet/Web Site	2,000.00	2,699.90	-699.90	-35.00%
Telephone	3,200.00	2,119.38	1,080.62	33.77%
Office Expense	5,000.00	3,181.23	1,818.77	36.38%
Postage	1,000.00	354.96	645.04	64.50%
Office Maintenance	4,500.00	4,003.10	496.90	11.04%
Equipment Purchase	2,000.00	1,075.67	924.33	46.22%
Equipment Maintenance	2,500.00	1,364.00	1,136.00	45.44%
Equipment Lease	5,500.00	3,948.96	1,551.04	28.20%
Professional Services	1,000.00	0.00	1,000.00	100.00%
Payroll Services	720.00	600.00	120.00	16.67%
Dues	2,000.00	1,457.00	543.00	27.15%
Subscriptions/Publications	1,500.00	813.91	686.09	45.74%
Meetings/Seminars	3,500.00	983.14	2,516.86	71.91%
Administrative Board Meetings	1,000.00	277.71	722.29	72.23%
Special projects	112,000.00	14,000.00	98,000.00	87.50%
Gas/Parking/Tolls	1,500.00	785.52	714.48	47.63%
EDS Auto Allowance	5,000.00	4,230.82	769.18	15.38%
Exec Director Auto Allowance	6,000.00	5,076.94	923.06	15.38%
Utilities	6,000.00	6,149.48	-149.48	-2.49%
<b>TOTAL OFFICE</b>	<b>216,920.00</b>	<b>95,621.72</b>	<b>121,298.28</b>	<b>55.92%</b>

**Business Development Corporation  
Budget Summary  
October 31, 2022**

	BUDGETED AMOUNT	EXPENDED YTD	AVAILABLE BALANCE	% BUDGET REMAINING
<b>Marketing:</b>				
Marketing				
<b>TOTAL MARKETING</b>	35,000.00	24,397.12	10,602.88	<b>30.29%</b>
	<b>35,000.00</b>	<b>24,397.12</b>	<b>10,602.88</b>	<b>30.29%</b>
 <b>TOTALS :</b>				
	<b>639,033.00</b>	<b>443,524.56</b>	<b>195,508.44</b>	<b>30.59%</b>
<b>Non Budget Expenses:</b>				
Depreciation		2,029.08		
<b>ARPA Grant Programs</b>		301,148.65		
<b>TOTAL NON BUDGET:</b>	-	-		
		<b>303,177.73</b>		
<b>Total Budget and Non Budget:</b>		<b>746,702.29</b>		

Business Development Corp  
Balance Sheet  
October 31, 2022

ASSETS

Current Assets		
Petty Cash	\$	145.00
NBT - Checking		149,486.29
NBT-Cty ARPA MM Acct		298,984.52
NBT Money market savings		299,764.98
A/R: CVB		140.08
A/R: SUNY Cortland		1,647.81
A/R: Downtown Ptnrship		39.12
Security Deposits		5,800.00
Prepaid Expenses		4,295.93
		<hr/>
Total Current Assets		760,303.73
Property and Equipment		
Office Equipmnt/Furniture		23,359.10
Accumulated Depreciation		(20,939.83)
		<hr/>
Total Property and Equipment		2,419.27
Other Assets		
A/R-IDA Contento Property		91,834.93
		<hr/>
Total Other Assets		91,834.93
		<hr/>
Total Assets	\$	<u><u>854,557.93</u></u>

LIABILITIES AND FUND BALANCE

Current Liabilities		
Accounts Payable	\$	291.63
Accrued Fed Unemployment		126.00
		<hr/>
Total Current Liabilities		417.63
Long-Term Liabilities		
Sublet Security Deposit		2,400.00
		<hr/>
Total Long-Term Liabilities		2,400.00
		<hr/>
Total Liabilities		2,817.63
Fund Balance		
Unrestricted net assets		100,087.16
Board designated net assets		370,437.71
Net Income		381,215.43
		<hr/>
Total Fund Balance		851,740.30
		<hr/>
Total Liabilities & Fund Balance	\$	<u><u>854,557.93</u></u>

Business Development Corp  
Income Statement  
For the Ten Months Ending October 31, 2022

	Current Month Actual	Current Month Budget	Variance	Year to Date Actual	Year to Date Budget	Variance
<b>REVENUE AND SUPPORT</b>						
County Gov't Funding	113,933.75	113,933.75	0.00	455,735.00	455,735.00	0.00
IDA Administrative Support	0.00	0.00	0.00	50,000.00	50,000.00	0.00
Sublet Rent	2,600.00	1,900.00	700.00	21,800.00	19,000.00	2,800.00
Interest Income	73.70	0.00	73.70	382.72	0.00	382.72
<b>Total General Revenue</b>	<b>116,607.45</b>	<b>115,833.75</b>	<b>773.70</b>	<b>527,917.72</b>	<b>524,735.00</b>	<b>3,182.72</b>
<b>Projects &amp; Events Income</b>						
Grant Revenue County ARP	0.00	0.00	0.00	600,000.00	0.00	600,000.00
<b>Total Projects &amp; Events</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>600,000.00</b>	<b>0.00</b>	<b>600,000.00</b>
<b>Special Project Grants</b>						
<b>Total Special Projects</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Total Revenue &amp; Support</b>	<b>116,607.45</b>	<b>115,833.75</b>	<b>773.70</b>	<b>1,127,917.72</b>	<b>524,735.00</b>	<b>603,182.72</b>
<b>EXPENDITURES</b>						
<b>General Expenses</b>						
Salary-Executive Director	9,392.38	9,392.38	0.00	103,316.18	103,316.18	0.00
Salary-Economic Dev Spec.	6,950.30	6,950.30	0.00	76,453.30	76,453.30	0.00
Salary-Community Relations	5,270.00	5,270.00	0.00	57,970.00	57,970.00	0.00
Employee Benefits	4,234.03	3,150.00	1,084.03	35,909.56	31,500.00	4,409.56
Pension 401 K expenses	0.00	0.00	0.00	600.00	600.00	0.00
Retirement Contributions	1,897.78	2,161.27	(263.49)	19,162.83	20,348.48	(1,185.65)
Employers F.I.C.A	1,680.63	1,714.44	(33.81)	18,486.92	18,869.80	(382.88)
Fed Unemployment Tax	0.00	0.00	0.00	126.41	126.00	0.41
State Unemploymnt Insure	0.00	0.00	0.00	840.20	800.00	40.20
DBL/ PFL Insurance	182.69	0.00	182.69	(194.22)	25.00	(219.22)
Workers Comp Insure	93.80	100.00	(6.20)	699.18	1,000.00	(300.82)
Office Rent	1,650.00	2,350.00	(700.00)	20,700.00	23,500.00	(2,800.00)
Sublet Rent	2,600.00	1,900.00	700.00	21,800.00	19,000.00	2,800.00
Internet/Web Site	89.99	166.67	(76.68)	2,699.90	1,666.70	1,033.20
Telephone	215.97	266.67	(50.70)	2,119.38	2,666.70	(547.32)
Office Expense	190.84	416.67	(225.83)	3,181.23	4,166.70	(985.47)
Postage	30.60	83.33	(52.73)	354.96	833.30	(478.34)
Office Maintenance	375.75	375.75	0.00	4,003.10	4,003.10	0.00
Equipment Purchase	1,075.67	1,075.67	0.00	1,075.67	1,197.17	(121.50)
Equipment Maintenance	121.50	121.50	0.00	1,364.00	1,242.50	121.50
Office Equipment Lease	291.63	291.63	0.00	3,948.96	3,948.96	0.00
Accounting	0.00	0.00	0.00	6,200.00	6,200.00	0.00
Legal	(913.16)	0.00	(913.16)	2,156.84	3,070.00	(913.16)
Payroll Service	60.00	60.00	0.00	600.00	600.00	0.00
Dues	0.00	0.00	0.00	1,457.00	1,457.00	0.00
Subscriptions/Publication	54.99	125.00	(70.01)	813.91	1,250.00	(436.09)
Marketing Expense	8,015.30	8,015.30	0.00	24,397.12	24,397.12	0.00
State/Federal Filing Fees	0.00	0.00	0.00	250.00	275.00	(25.00)
Directors & Officers Ins.	110.83	104.17	6.66	1,089.94	1,041.70	48.24
Property Insurance	44.20	50.00	(5.80)	438.58	500.00	(61.42)
Mtgs/Seminars/Conferences	0.00	0.00	0.00	983.14	983.14	0.00
Board Meetings	50.24	50.24	0.00	277.71	277.71	0.00
EDS Auto Allowance	384.62	416.67	(32.05)	4,230.82	4,166.70	64.12
Mileage/Gas/Tolls/Parking	0.00	0.00	0.00	785.52	785.52	0.00



Business Development Corp  
Income Statement  
For the Ten Months Ending October 31, 2022

	Current Month Actual	Current Month Budget	Variance	Year to Date Actual	Year to Date Budget	Variance
Auto Allowance/Director	461.54	500.00	(38.46)	5,076.94	5,000.00	76.94
Utilities	324.97	500.00	(175.03)	6,149.48	5,000.00	1,149.48
Depreciation	0.00	0.00	0.00	2,029.08	2,029.08	0.00
<b>Total General Expenses</b>	<b>44,937.09</b>	<b>45,607.66</b>	<b>(670.57)</b>	<b>431,553.64</b>	<b>430,266.86</b>	<b>1,286.78</b>
Projects and Events						
Special project expenses	7,000.00	7,000.00	0.00	14,000.00	14,000.00	0.00
Cty ARPA Grant Programs	45,947.65	0.00	45,947.65	301,148.65	0.00	301,148.65
<b>Total Projects &amp; Events</b>	<b>52,947.65</b>	<b>7,000.00</b>	<b>45,947.65</b>	<b>315,148.65</b>	<b>14,000.00</b>	<b>301,148.65</b>
Special Projects Expense						
<b>Total Special Projects</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
Other Income/Expense						
<b>Total Other Income/Expense</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Total Expenses</b>	<b>97,884.74</b>	<b>52,607.66</b>	<b>45,277.08</b>	<b>746,702.29</b>	<b>444,266.86</b>	<b>302,435.43</b>
<b>NET INCOME</b>	<b>18,722.71</b>	<b>63,226.09</b>	<b>(44,503.38)</b>	<b>381,215.43</b>	<b>80,468.14</b>	<b>300,747.29</b>



**Cortland County**  
Business Development Corporation

# Revolving Loan Fund

**CORTLAND COUNTY BUSINESS DEVELOPMENT CORP. RLF**

**October 31, 2022**

BORROWER	Rating	Original Loan Amount	Mthly Pymnt Amount	Date Last Paid	# of Total Payments	# of Payments Remaining	# of Payments Past Due	Amount Past Due	LOAN BALANCE
Armideo Housing (COVID)	**	\$ 25,000.00	\$ 716.06	10/13/2022	36	19			\$ 13,381.17
J Brown Performance Horse	****	\$25,000.00	\$ 716.06	10/31/2022	36	27			\$ 18,889.84
Community Restaurant COVID	**	\$ 25,000.00	\$ 716.06	10/17/2022	36	19			\$ 13,381.17
60 Main LLC COVID	***	\$ 25,000.00	\$ 716.06	10/17/2022	36	23			\$ 16,144.67
Mironti Enterprise COVID	****	\$15,000.00	\$ 429.64	10/12/2022	36	24			\$ 10,029.58
Community Restaurant/NAFS		\$75,000.00	\$ 1,449.96	10/17/2022	60	35			\$ 46,450.02
Voyant (KIK Corp)	PIF	\$ 195,447.72	\$ 3,815.32	10/31/22	56	0			\$ -
Gain on KIK loan purchase	PIF	\$ (55,862.68)							\$ -
Mironti, Sandro & Denise		\$63,000.00	\$ 699.43	10/12/22	60	23			\$ 47,418.00
P Smith/Crown Stove		\$50,000.00	\$ 555.10	10/28/22	120			*	\$ 12,375.24
Allowance for doubtful accts									(\$25,000.00)
		<b>\$ 442,585.04</b>	<b>\$ 9,813.69</b>					\$ -	<b>\$ 153,069.69</b>

BDC RLF Assets as of 10/31/2022	\$781,034.18
Less outstanding loans	\$ (153,069.69)
Funds available	<b>\$ 627,964.49</b>

Rating \* W - Watch L Rating \* W - Watch List  
 Rating D - Legal Proc Rating D - Legal Proceedings  
 Rating B-Bankruptcy Proceedings

\* Any monies received are applied as principal payments  
  
 \*\* COVID loan-payments begin 6/1/2021  
 \*\*\*COVID loan-payments begin 10/1/2021  
 \*\*\*\*COVID loan-payments begin 11/1/2021  
 \*\*\*\*\*Covid loan-payments begin 2/1/2022

BDC Revolving Loan Fund  
Balance Sheet  
October 31, 2022

ASSETS

Current Assets		
NBT-Checking	\$	101,515.22
Tompkins Trust-Money Mkt		101,108.48
NBT Money market account		425,340.79
		627,964.49
Total Current Assets		
Property and Equipment		
		0.00
Total Property and Equipment		
Receivables		
Armideo Housing LLC (COVID)		13,381.17
J. Brown Perform Horse(COVID)		18,889.84
Community Restaurant (COVID)		13,381.17
Mironti Enterprises Inc (COVID)		10,029.58
Paul Smith		12,375.24
60 MAIN LLC (COVID)		16,144.67
Community Restaurant/NAFS1571		46,450.02
Sandro & Denise Mironti		47,418.00
Allowance for Doubtful Accts		(25,000.00)
		153,069.69
Total Receivables		
		781,034.18
Total Assets		

LIABILITIES AND FUND BALANCE

Current Liabilities		
		0.00
Total Current Liabilities		
Long-Term Liabilities		
		0.00
Total Long-Term Liabilities		
Total Liabilities		
		0.00
Fund Balance		
Retained Earnings	\$	750,333.01
Net Income		30,701.17
		781,034.18
Total Fund Balance		
		781,034.18
Total Liabilities & Fund Balance		

BDC Revolving Loan Fund  
Income Statement  
For the Ten Months Ending October 31, 2022

	Current Month	Ratio	Year to Date	Ratio
Revenue				
Interest on Deposits	\$ 53.96	0.37	\$ 325.68	1.05
Interest on Loans	675.24	4.60	7,640.96	24.72
Gain-- KIK/Voyant Loan	<u>13,965.58</u>	95.04	<u>22,943.53</u>	74.23
Total Revenue	<u>14,694.78</u>	100.00	<u>30,910.17</u>	100.00
TOTAL REVENUE	<u>14,694.78</u>	100.00	<u>30,910.17</u>	100.00
Expenses				
Legal Services	<u>209.00</u>	1.42	<u>209.00</u>	0.68
Total Expenses	209.00	1.42	209.00	0.68
Net Income	<u>\$ 14,485.78</u>	98.58	<u>\$ 30,701.17</u>	99.32



# Director's Report